



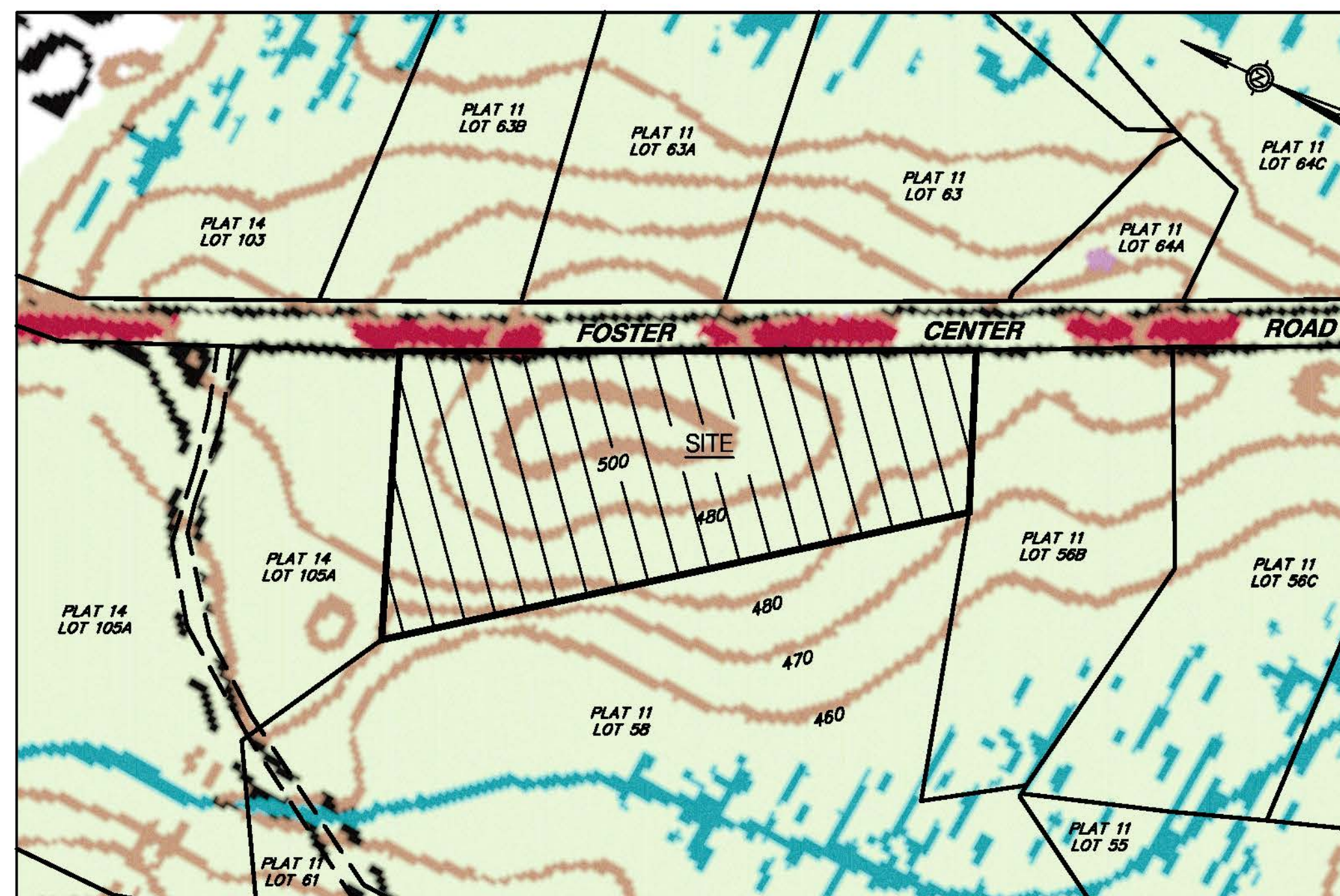


**GENERAL NOTES:**

- ALL EXISTING UTILITIES HAVE BEEN PLOTTED BASED UPON BEST AVAILABLE INFORMATION AND REPRESENT APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE & UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE PROGRAM LAW" ENACTED BY THE R.I. LEGISLATURE AND BY CONTACTING THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY CITY, STATE OR FEDERAL AGENCY THAT MAY APPLY. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- SPECIFICATIONS TO GOVERN THIS PROJECT ARE R.I.D.O.T. STANDARD SPECIFICATIONS AND DETAILS. FOR ALL EXCAVATION, PLACEMENT OF FILL, PIPE INSTALLATION, BITUMINOUS PAVEMENT, CUTTING INTO CATCHBASIN/MANHOLES, CONCRETE AND SAWCUTTING, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, WITH LATEST REVISIONS UNLESS OTHERWISE SHOWN ON PLANS. THE "METHOD OF MEASUREMENT" AND "BASIS OF PAYMENT" ARE NOT APPLICABLE. THESE SPECIFICATIONS CAN BE PURCHASED FROM THE OFFICE OF:  
CONTRACTS AND SPECIFICATIONS  
R.I.D.O.T., TWO CAPITOL HILL, ROOM 331  
PROVIDENCE, RI 02903 TEL: (401)277-2495, EXT. 4400
- RHODE ISLAND STANDARDS REFERENCED ARE ACCORDING TO THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS "RHODE ISLAND STANDARD DETAILS" DATED JUNE 27, 2008, WITH SUBSEQUENT REVISIONS, PREPARED BY THE DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR MUST VERIFY PRIOR TO CONSTRUCTION THAT ALL REQUIRED AUTHORIZATION TO PERFORM WORK HAS BEEN OBTAINED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION OPERATIONS INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS ARE STRICTLY ENFORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ASPECTS OF ON SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.
- EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" LOAM AND SEED.
- ALL STUMPS AND ROOTS ARE TO BE REMOVED AND DISPOSED OFF SITE AND IN ACCORDANCE WITH STATE, FEDERAL AND LOCAL REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
- ALL REQUIRED AUTHORIZATION TO PERFORM WORK MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION OPERATIONS INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS ARE STRICTLY ENFORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL ASPECTS OF ON-SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.
- ALL DISTURBED AREAS SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN.
- THE SITE PLANS REPRESENT THE GENERAL SITE LAYOUT AND CONSTRUCTION REQUIREMENTS AND DOES NOT REPRESENT ALL DETAILS AND SPECIFICATIONS NECESSARY FOR CONSTRUCTION. REFER TO THE CONTRACT DOCUMENTS AND SUPPLEMENTAL SPECIFICATIONS.
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE, AND THE BID PRICE SHALL INCLUDE ALL SERVICES AND MATERIALS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND MUST BE ACCEPTABLE TO THE ENGINEER.
- THIS SITE IS NOT WITHIN THE RIDEM NATURAL HERITAGE AREA.
- THIS SITE IS NOT WITHIN A FARMLAND/CONSERVATION DISTRICT.
- PRIME AGRICULTURAL SOILS ON-SITE INCLUDE SOIL TYPE S<sub>8</sub>, SUDBURY SANDY LOAM. THIS SOIL TYPE IS LIMITED TO THE EXTREME NORTHEAST CORNER OF THIS PROPERTY, BEYOND THE BASEBALL FIELD.

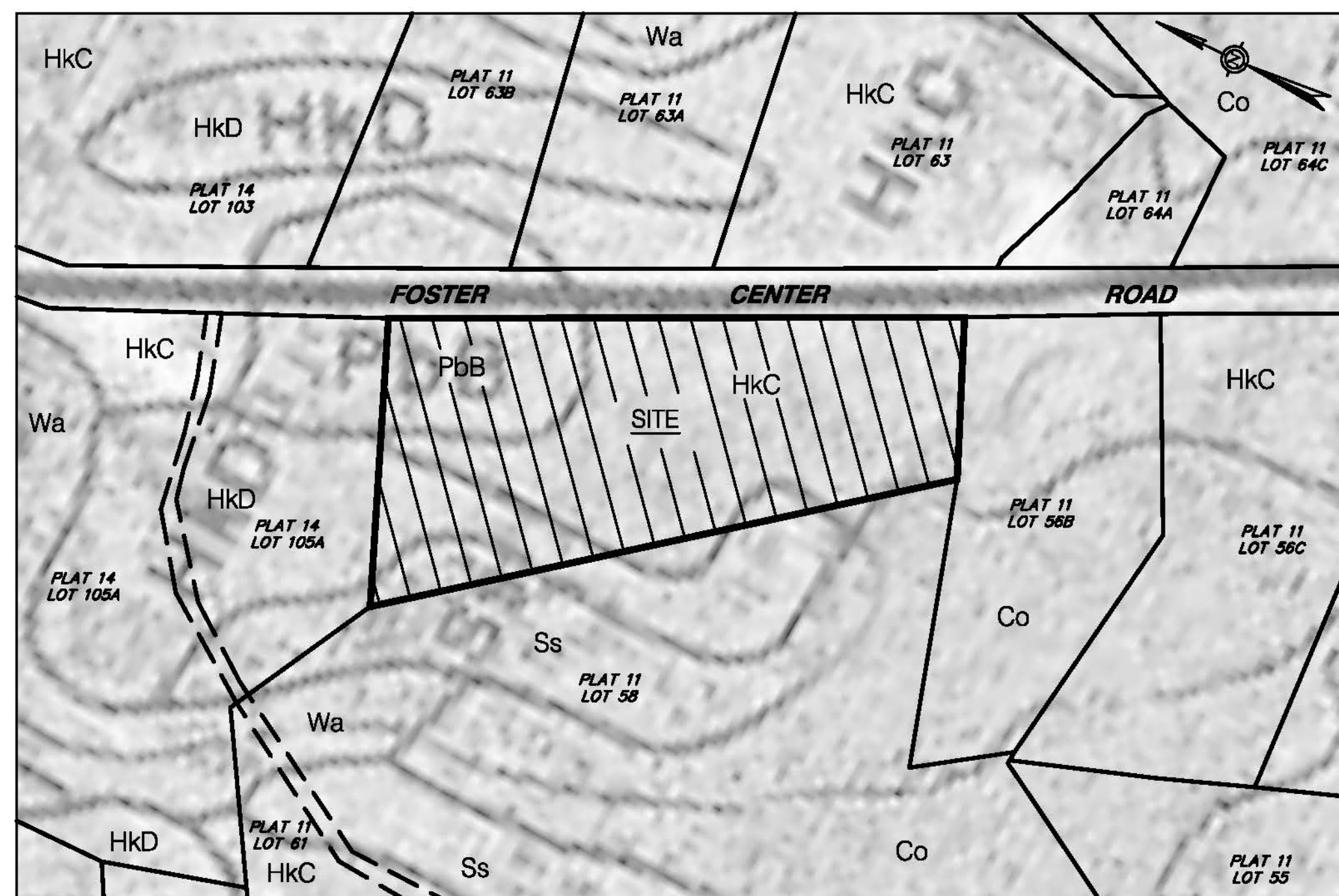
**MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN THE ROAD RIGHT-OF-WAY.
- ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS, CHANNELING DEVICES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2003 EDITION, AND SUBSEQUENT ADDENDA.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.



NOTE: OVERLAY IS APPROXIMATE, REFER TO THE EXISTING CONDITIONS PLAN FOR FIELD SURVEYED CONTOURS.

**USGS OVERLAY**  
SCALE: 1"=200'



NOTE: REFER TO TEST PIT DATA FOR ON-SITE SOIL EVALUATION.

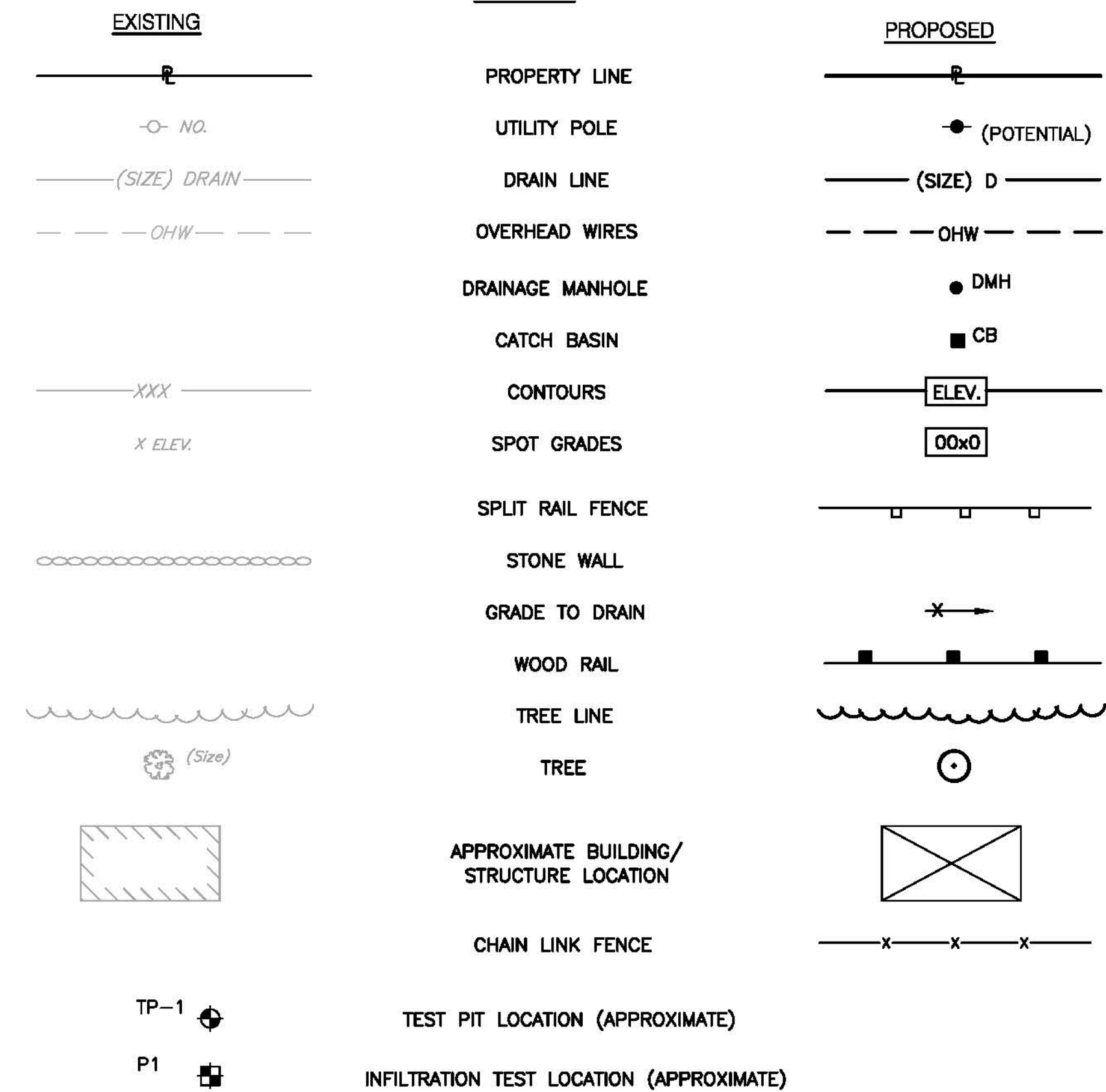
LEGEND: HkC-HINCKLEY GRAVELLY SANDY LOAM, ROLLING  
HkD-HINCKLEY GRAVELLY SANDY LOAM, HILLY  
PbB-PAXTON VERY STONY FINE SANDY LOAM, 0 TO 8 PERCENT SLOPES  
Ss-SUDBURY SANDY LOAM

**SOILS OVERLAY**  
SCALE: 1"=200'

**TEST PIT DATA**

TEST PITS CONDUCTED ON MAY 5, 2009.

TEST PIT 1	TEST PIT 2	TEST PIT 3	TEST PIT 4	TEST PIT 5	TEST PIT 6	TEST PIT 7	TEST PIT 8
0" Organic Litter (Oi (Fric))	0" Organic Litter (Oi (Fric))	0" Organic Litter (Oi (Fric))	0" Organic Litter (Oi (Fric))	0" Organic Litter (Oi (Fric))	0" Organic Litter (Oi (Fric))	0" Organic Litter (Oi (Fric))	0" Organic Litter (Oi (Fric))
3" Dark Yellowish Brown Sandy Loam (A (Fric))	3" Dark Yellowish Brown Sandy Loam (A (Fric))	3" Dark Brown Sandy Loam (A (Fric))	3" Dark Brown Sandy Loam (A (Fric))	3" Dark Yellowish Brown Sandy Loam (A (Fric))	3" Dark Brown Sandy Loam (A (Fric))	3" Dark Brown Sandy Loam (A (Fric))	3" Dark Brown Sandy Loam (A (Fric))
5" Dark Yellowish Brown Fine Sandy Loam (Bw1 (Fric))	7" Dark Yellowish Brown Fine Sandy Loam (Bw1 (Fric))	5" Dark Yellowish Brown Fine Sandy Loam (Bw1 (Fric))	5" Dark Yellowish Brown Fine Sandy Loam (Bw1 (Fric))	8" Dark Yellowish Brown Fine Sandy Loam (Bw1 (Fric))	6" Dark Yellowish Brown Fine Sandy Loam (Bw1 (Fric))	6" Dark Yellowish Brown Fine Sandy Loam (Bw1 (Fric))	6" Dark Yellowish Brown Fine Sandy Loam (Bw1 (Fric))
17" Yellowish Brown Gravelly Fine Sand (Bw2 (Loose/Fric))	20" Yellowish Brown Very Fine Sandy Loam (Bw2 (Fric))	20" Yellowish Brown Very Fine Sandy Loam (Bw2 (Fric))	20" Yellowish Brown Very Fine Sandy Loam (Bw2 (Fric))	15" Yellowish Brown Fine Sandy Loam (Bw2 (Fric))	18-24" Yellowish Brown Fine Sandy Loam (Bw2 (Fric))	19" Yellowish Brown Fine Sandy Loam (Bw2 (Fric))	14" Yellowish Brown Stoney Fine Sandy Loam (Bw2 (Fric))
25" Grayish Brown Stoney Gravelly Loamy Sand (C (Fric))	42" Light Olive Brown Gravelly Fine Sand (C1 (Loose/Fric))	38" Light Olive Brown Gravelly Fine Sand (C1 (Loose/Fric))	32" Light Olive Brown Gravelly Fine Sand (C1 (Loose/Fric))	72" Light Yellowish Brown Sand (C2 (Loose/Fric))	24-34" Olive Gray Very Fine Sandy Loam/Silt Loam (C1 (Loose/Fric))	27" Olive Gray Stoney Gravelly Sandy Loam (C1 (Fric))	31" Olive Stoney Gravelly Sandy Loam (C (Fric))
125" No Refusal No Water Seepage >125" Design GWT No Redox Features	132" No Refusal No Water Seepage >144" Design GWT No Redox Features	136" No Refusal No Water Seepage >136" Design GWT No Redox Features	132" No Refusal No Water Seepage >132" Design GWT No Redox Features	126" No Refusal No Water Seepage >126" Design GWT No Redox Features	125" No Refusal No Water Seepage >125" Design GWT No Redox Features	126" No Refusal No Water Seepage >126" Design GWT No Redox Features	126" No Refusal No Water Seepage >126" Design GWT No Redox Features



**LAYOUT NOTE:**

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

**SURVEY NOTE:**

TOPOGRAPHIC SURVEY CONFORMS TO A CLASS III SURVEY.

**FLOOD ZONE NOTE:**

THE SITE IS SHOWN TO BE WITHIN FLOOD ZONE 'X' AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN FOSTER, PROVIDENCE COUNTY, RHODE ISLAND PANEL 255 OF 451 MAP NUMBER 44007C02556 AND PANEL 265 OF 451 MAP NUMBER 44007C02556, EFFECTIVE DATE MARCH 2, 2009.

**WATERSHED NOTE:**

THE PROJECT SITE IS WITHIN THE WATERSHED LIMITS OF THE SCITUATE RESERVOIR WATERSHED.

**INFILTRATION TEST DATA:**

INFILTRATION TESTS WERE CONDUCTED BY CROSSMAN ENGINEERING, INC USING TURF TEC DOUBLE RING INFILTRMETER. ALL TESTS WERE CONDUCTED IN THE C HORIZON.

P1 = 1 MIN./INCH  
P2 = 5 MIN./INCH

**CROSSMAN ENGINEERING, INC.**  
151 Centerville Road  
Warwick, Rhode Island 02886  
Phone: (401) 738-5660 - Fax: (401) 738-8157  
Email: cel@crossmaneng.com

**THE GIFFORD DESIGN GROUP, Inc.**  
LANDSCAPE ARCHITECTURE  
ENVIRONMENTAL PLANNING  
496 MENDON ROAD, CUMBERLAND, RHODE ISLAND 02864  
PHONE (401) 671-6388 FAX (401) 671-6966

PROJECT TITLE:  
**PROPOSED YOUTH ATHLETIC FIELDS**  
  
PLAT MAP 11, LOT 57  
ZONING DISTRICT: AR  
AGRICULTURAL/RESIDENTIAL DISTRICT

PREPARED FOR:  
**TOWN OF FOSTER**  
  
181 HOWARD HILL ROAD  
FOSTER, RHODE ISLAND  
02825

**DRAWING TITLE:**  
**GENERAL NOTES and LEGEND**

DATE:	SCALE:
JANUARY 2010	NO SCALE

DWG. NAME: 1574-C1-NOTE-R1.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	R.I.D.O.T. REVIEW COMMENTS	10/19/15

DRAWING NUMBER  
**C1**

SHEET: 2 OF 12

FINAL PLAN SUBMISSION

Town of Foster, Rhode Island Department of Planning  
Submission Record for - Major Land Development

Submission	Board Action	Date:	Signed:
Master Plan Review	<input type="checkbox"/> Approved <input type="checkbox"/> Returned for Cause <input type="checkbox"/> Denied		
Preliminary Plan Review	<input type="checkbox"/> Approved <input type="checkbox"/> Returned for Cause <input type="checkbox"/> Denied		
Final Plan Review	<input type="checkbox"/> Approved <input type="checkbox"/> Returned for Cause <input type="checkbox"/> Denied		

Received for Record \_\_\_\_\_ Date: \_\_\_\_\_  
of \_\_\_\_\_ M. Recorded in Book No. \_\_\_\_\_ Page \_\_\_\_\_  
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\_\_\_\_\_ Town Clerk













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 498 MENDON ROAD, CUMBERLAND, RHODE ISLAND 02864  
 PHONE 401-671-6385 FAX 401-671-6466

**PROJECT TITLE:**  
 PROPOSED YOUTH ATHLETIC FIELDS  
 PLAT MAP 11, LOT 57  
 ZONING DISTRICT: AR  
 AGRICULTURAL/RESIDENTIAL DISTRICT  
 FOSTER CENTER ROAD (ROUTE 94)  
 FOSTER, RHODE ISLAND

**PREPARED FOR:**  
 TOWN OF FOSTER  
 181 HOWARD HILL ROAD  
 FOSTER, RHODE ISLAND  
 02825

**DRAWING TITLE:**  
 EXISTING CONDITIONS PLAN

**DATE:** JANUARY 2010 **SCALE:** 1"=40'

**DWG. NAME:** 1574-C4-EXCN-R1.dwg

**REVISIONS**

NUMBER	REMARKS	DATE
1	R.I.D.O.T. REVIEW COMMENTS	10/19/15

**DRAWING NUMBER**  
**C4**  
 SHEET: 5 OF 12  
**FINAL PLAN SUBMISSION**

**PLAN REFERENCE:**

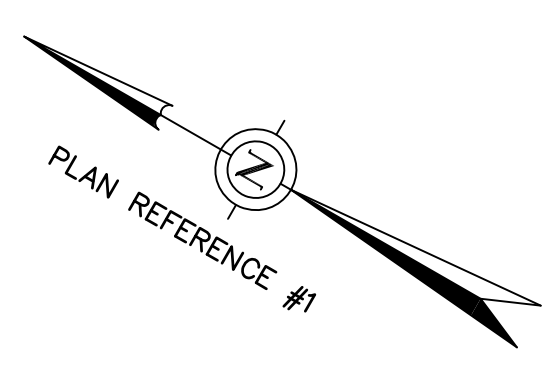
- "BOUNDARY SURVEY PLAN OF ASSESSOR'S PLAT 11 LOT 57 FOSTER CENTER ROAD FOSTER, RHODE ISLAND" PREPARED FOR: THE TOWN OF FOSTER PREPARED BY: FOSTER SURVEY COMPANY SCALE: 1"=50' DATE: 6/18/08

**NOTES:**

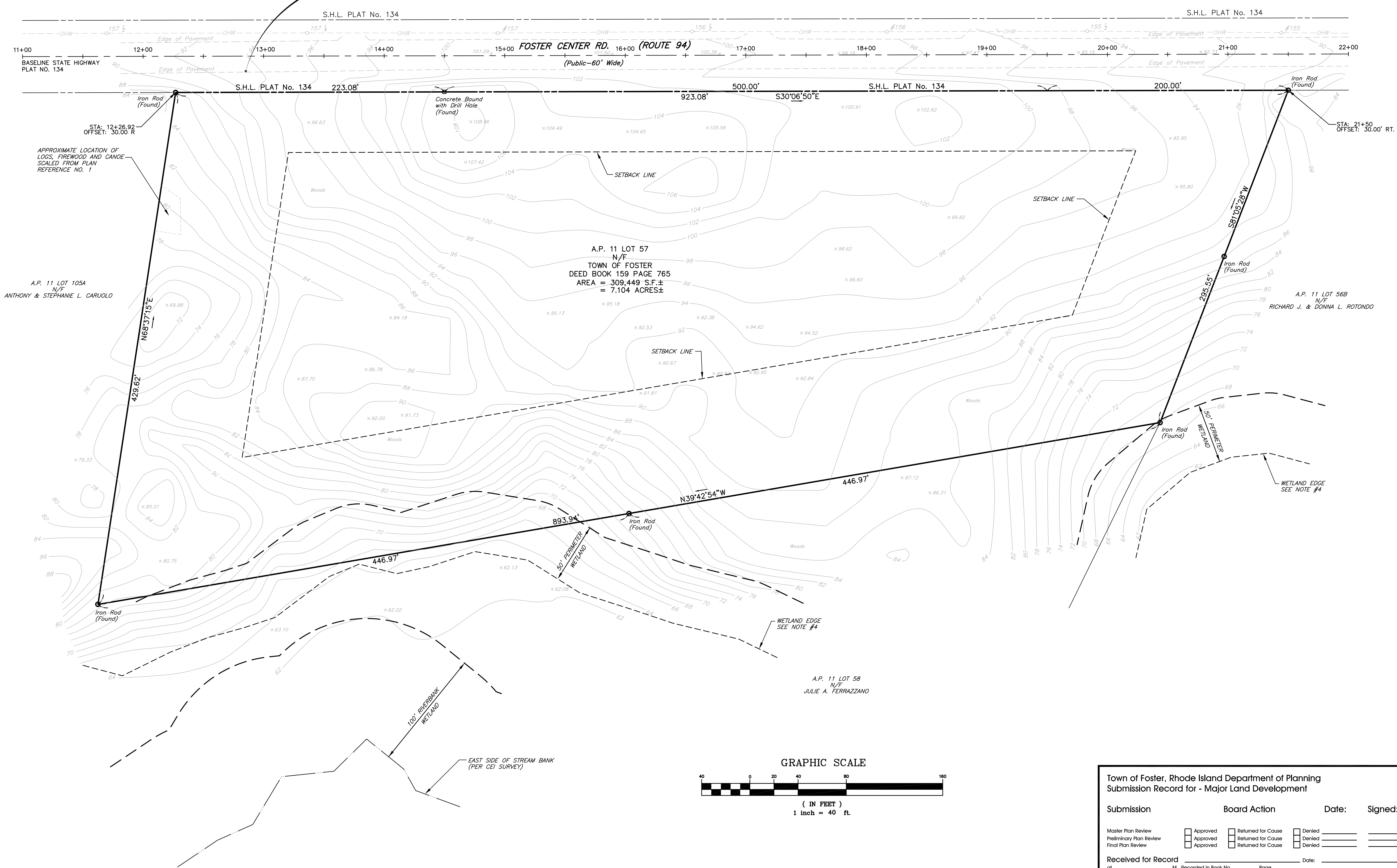
- FIELD SURVEY WORK FOR EXISTING CONDITIONS PERFORMED BY CROSSMAN ENGINEERING INC. IN MARCH AND APRIL OF 2009.
- PROPERTY LINE AND ABUTTERS INFORMATION TAKEN FROM PLAN REFERENCE NO. 1.
- SEE EASEMENT BETWEEN THE TOWN OF FOSTER AND THE STATE OF RHODE ISLAND RECORDED IN VOLUME 160 PAGE 177 AT THE TOWN OF FOSTER CLERKS OFFICE.
- WETLAND EDGE DELINEATED BY THE GIFFORD DESIGN GROUP, INC. AND LOCATED BY CROSSMAN ENGINEERING, INC. ON 4/30/09. NO WETLAND FLAGS WERE SET DUE TO BEING ON PRIVATE PROPERTY.

**LEGEND**

- PROPERTY LINE (SEE NOTE #2)
- A.P. ASSESSORS PLAT
- N/F NOW OR FORMERLY
- D.B., PG. DEED BOOK, PAGE
- UTILITY POLE
- CONTOUR LINE
- x.xx.xx SPOT GRADE
- S.H.L. STATE HIGHWAY LINE
- - - - - OVERHEAD WIRES



**BENCHMARK:**  
 M.A.G. NAIL SET  
 IN PAVEMENT  
 ELEV. 93.43'  
 DATUM: ASSUMED



Town of Foster, Rhode Island Department of Planning  
 Submission Record for - Major Land Development

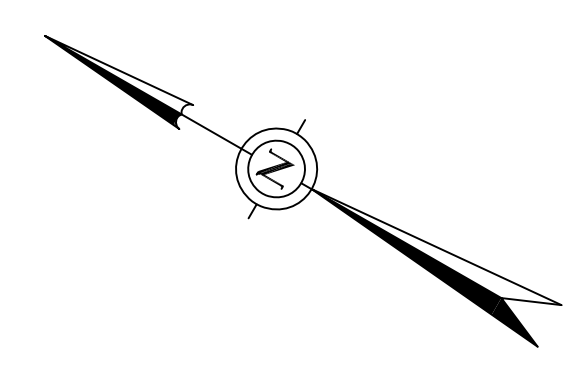
Submission	Board Action	Date:	Signed:
Master Plan Review	<input type="checkbox"/> Approved <input type="checkbox"/> Returned for Cause <input type="checkbox"/> Denied	_____	_____
Preliminary Plan Review	<input type="checkbox"/> Approved <input type="checkbox"/> Returned for Cause <input type="checkbox"/> Denied	_____	_____
Final Plan Review	<input type="checkbox"/> Approved <input type="checkbox"/> Returned for Cause <input type="checkbox"/> Denied	_____	_____

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 \_\_\_\_\_ Town Clerk









**FOSTER ZONING REQUIREMENTS:**

<b>ZONING DISTRICT:</b> AGRICULTURAL/RESIDENTIAL DISTRICT (AR)		
<b>PERMITTED USE:</b> PUBLIC PLAYGROUND OR PARK		
<b>MINIMUM REQUIREMENTS:</b>	<b>REQUIRED:</b>	<b>PROVIDED:</b>
MINIMUM AREA:	200,000 S.F.	309,449 S.F.
MINIMUM FRONTAGE:	300 FT.	923.08 FT.
<b>YARD REQUIREMENTS:</b>		
FRONT:	50 FT.	245± FT.
REAR:	100 FT.	101± FT.
SIDE:	100 FT.	230± FT.
MAXIMUM BUILDING HEIGHT:	35 FT.	<35 FT.
<b>NOTE:</b> YARD SETBACKS PROVIDED ARE TO POTENTIAL FUTURE CONCESSION/STORAGE AREA.		

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**THE GIFFORD DESIGN GROUP, Inc.**  
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 ENVIRONMENTAL PLANNING  
 496 MENDON ROAD, CUMBERLAND, RHODE ISLAND 02846  
 PHONE (401) 671-6385 FAX (401) 671-6466

**PROJECT TITLE:**  
 PROPOSED YOUTH ATHLETIC FIELDS  
 PLAT MAP 11, LOT 57  
 ZONING DISTRICT: AR  
 AGRICULTURAL/RESIDENTIAL DISTRICT  
 FOSTER CENTER ROAD (ROUTE 94)  
 FOSTER, RHODE ISLAND

**PREPARED FOR:**  
 TOWN OF FOSTER  
 181 HOWARD HILL ROAD  
 FOSTER, RHODE ISLAND  
 02825

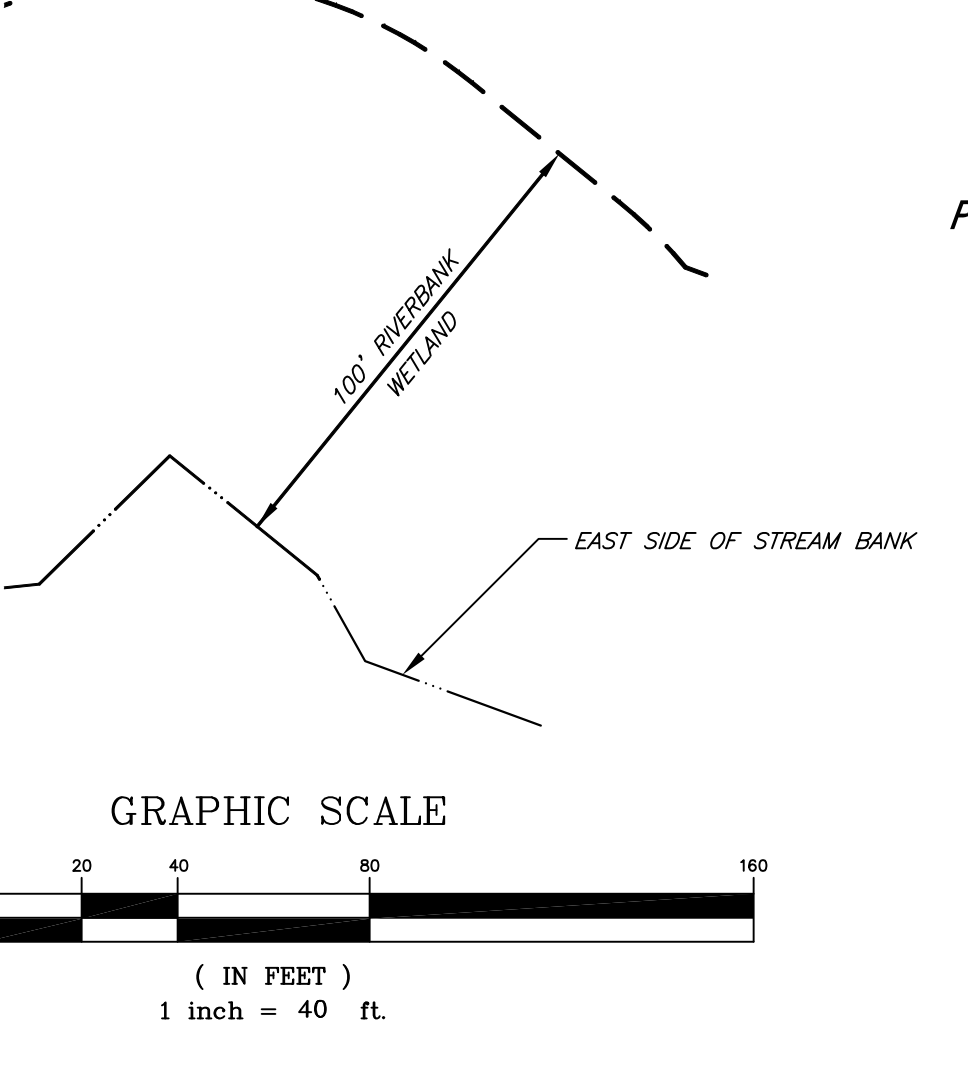
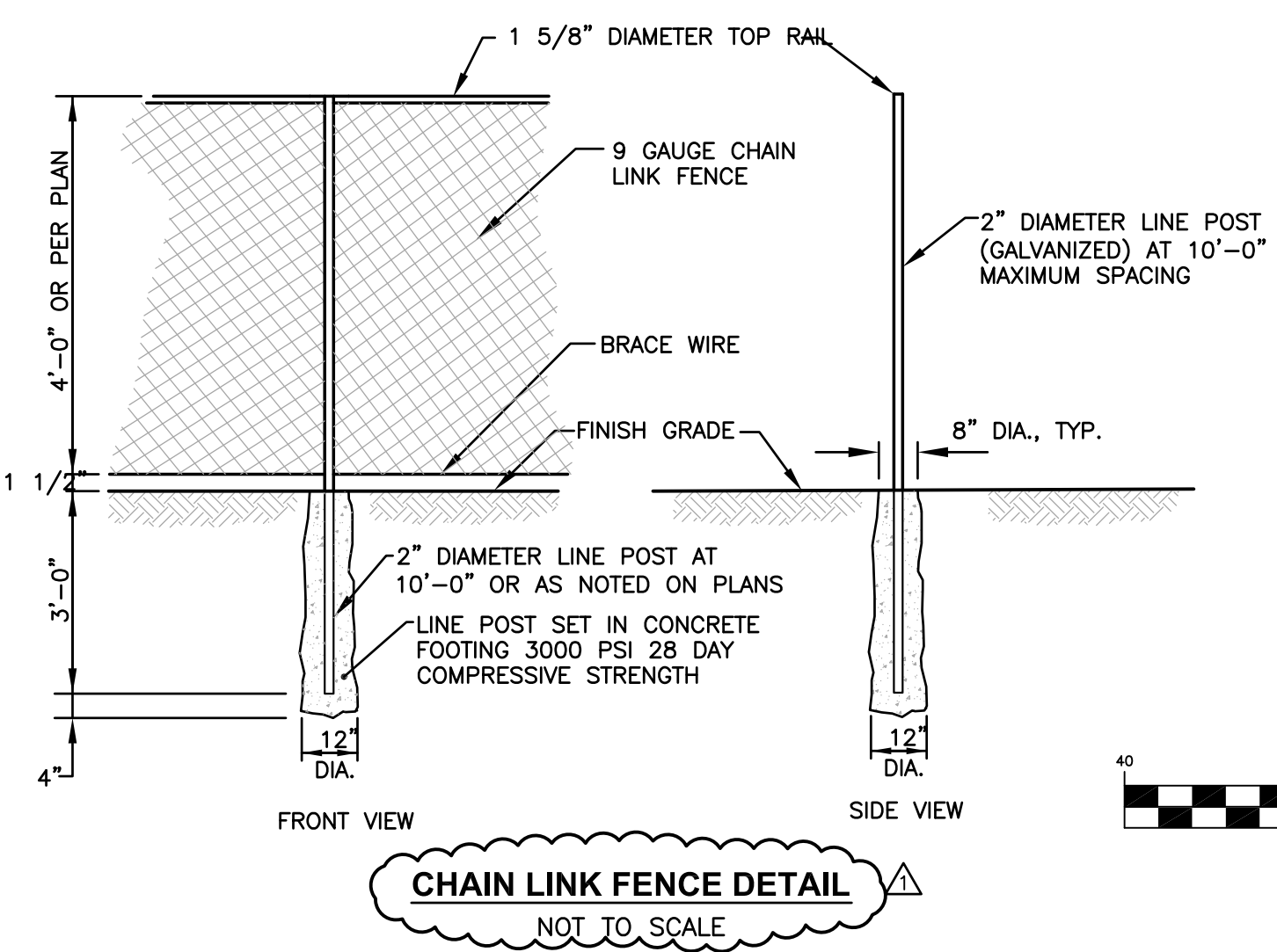
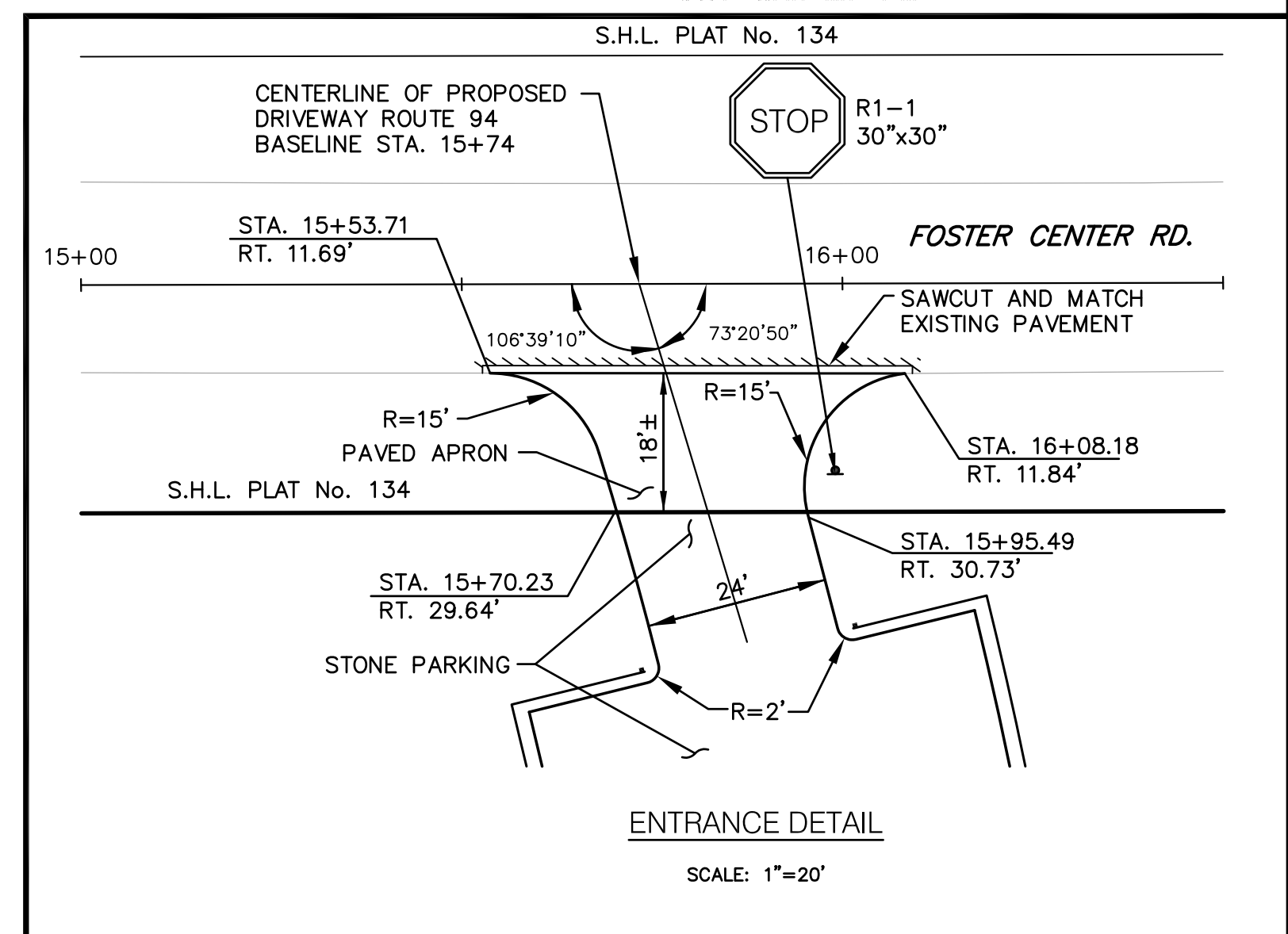
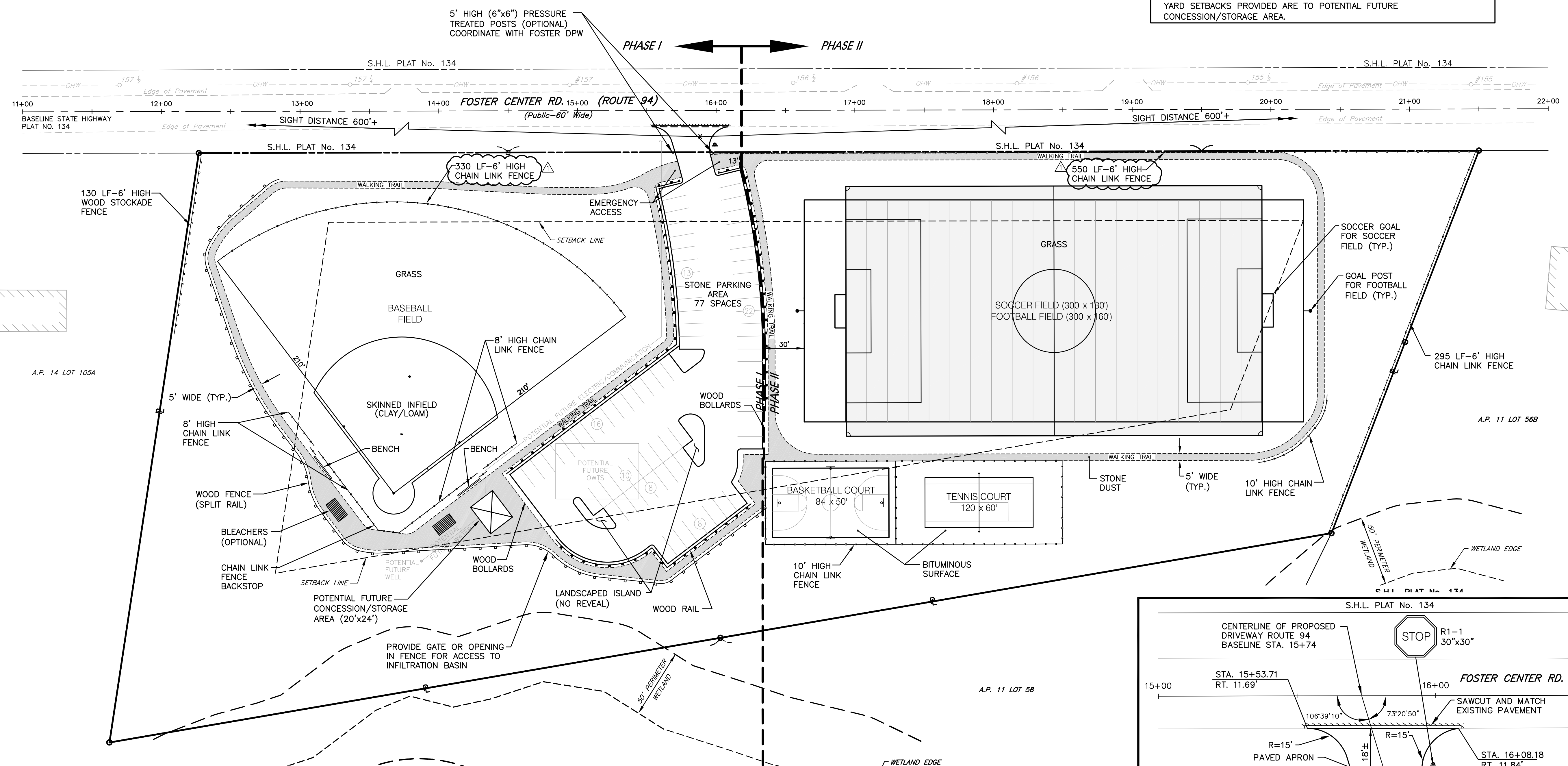
**DRAWING TITLE:**  
 SITE LAYOUT PLAN

**DATE:** JANUARY 2010  
**SCALE:** 1" = 40'  
**DWG. NAME:** 1574-C6-SITE-R1.dwg

**REVISIONS**

NUMBER	REMARKS	DATE
1	R.I.D.O.T. REVIEW COMMENTS	10/19/15

**DRAWING NUMBER**  
**C6**  
 SHEET: 7 OF 12  
**FINAL PLAN SUBMISSION**



**PHASING NOTES:**

- THE R.I.D.E.M. PRELIMINARY DETERMINATION APPLICATION INCLUDES CONSTRUCTION OF BOTH PHASE 1 AND PHASE 2.
- THE PROPOSED YOUTH ATHLETIC FIELDS WILL BE CONSTRUCTED IN 2 PHASES:  
 PHASE I: BASEBALL FIELD, PARKING AREA AND WALKING TRAIL (NORTHERLY SIDE).  
 PHASE II: SOCCER/FOOTBALL FIELD, BASKETBALL COURT, TENNIS COURT AND WALKING TRAIL (SOUTHERLY SIDE).

POTENTIAL FUTURE/ADDITIONAL PHASE: CONCESSION STAND, WATER SERVICE (NOT FOR CONSUMPTION), ELECTRICAL SERVICE, LIGHTING (SECURITY OR OTHER), AND RESTROOM FACILITIES (OWTS).

Town of Foster, Rhode Island Department of Planning  
 Submission Record for - Major Land Development

Submission	Board Action	Date:	Signed:
Master Plan Review	<input type="checkbox"/> Approved <input type="checkbox"/> Returned for Cause <input type="checkbox"/> Denied	_____	_____
Preliminary Plan Review	<input type="checkbox"/> Approved <input type="checkbox"/> Returned for Cause <input type="checkbox"/> Denied	_____	_____
Final Plan Review	<input type="checkbox"/> Approved <input type="checkbox"/> Returned for Cause <input type="checkbox"/> Denied	_____	_____

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 FOSTER, RHODE ISLAND

**PREPARED FOR:**  
 TOWN OF FOSTER  
 181 HOWARD HILL ROAD  
 FOSTER, RHODE ISLAND  
 02825

**DRAWING TITLE:**  
 GRADING and DRAINAGE PLAN

**DATE:** JANUARY 2010 **SCALE:** 1" = 40'

**DWG. NAME:** 1574-C7-GRADE-R1.dwg

**REVISIONS**

NUMBER	REMARKS	DATE
1	R.I.D.O.T. REVIEW COMMENTS	10/19/15

**DRAWING NUMBER**

C7

SHEET: 8 OF 12

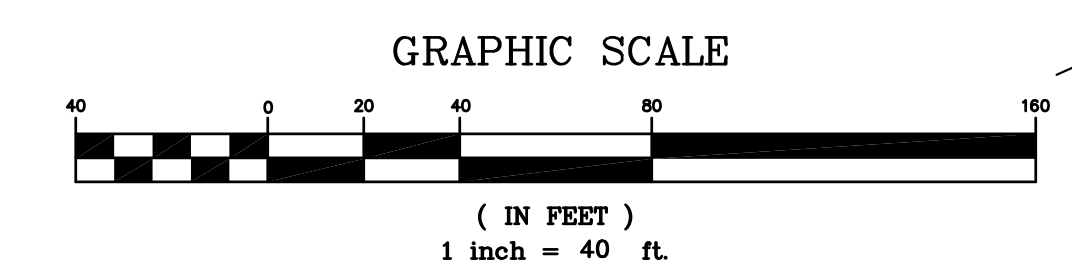
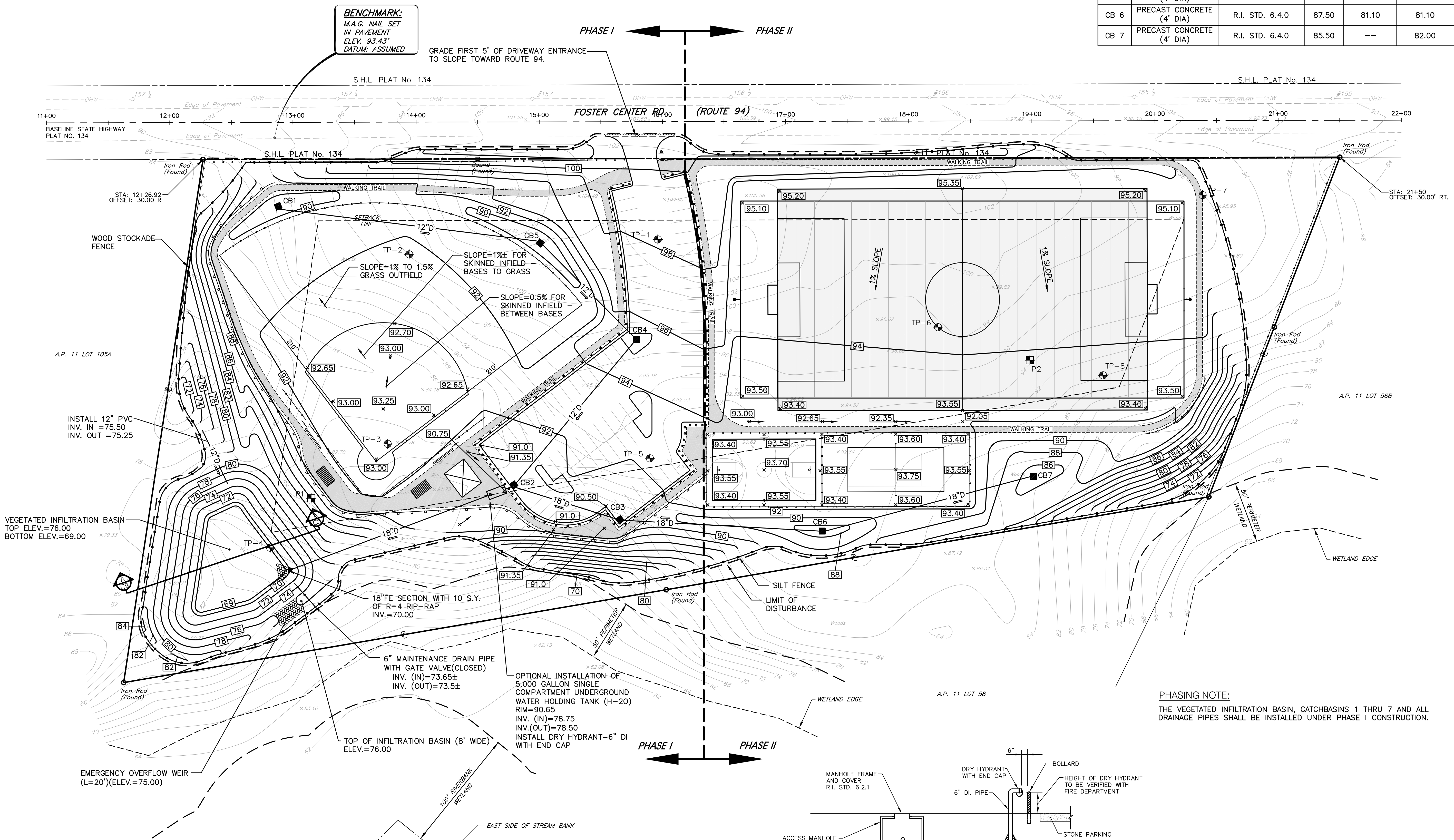
**FINAL PLAN SUBMISSION**

**DRAINAGE STRUCTURE SCHEDULE**

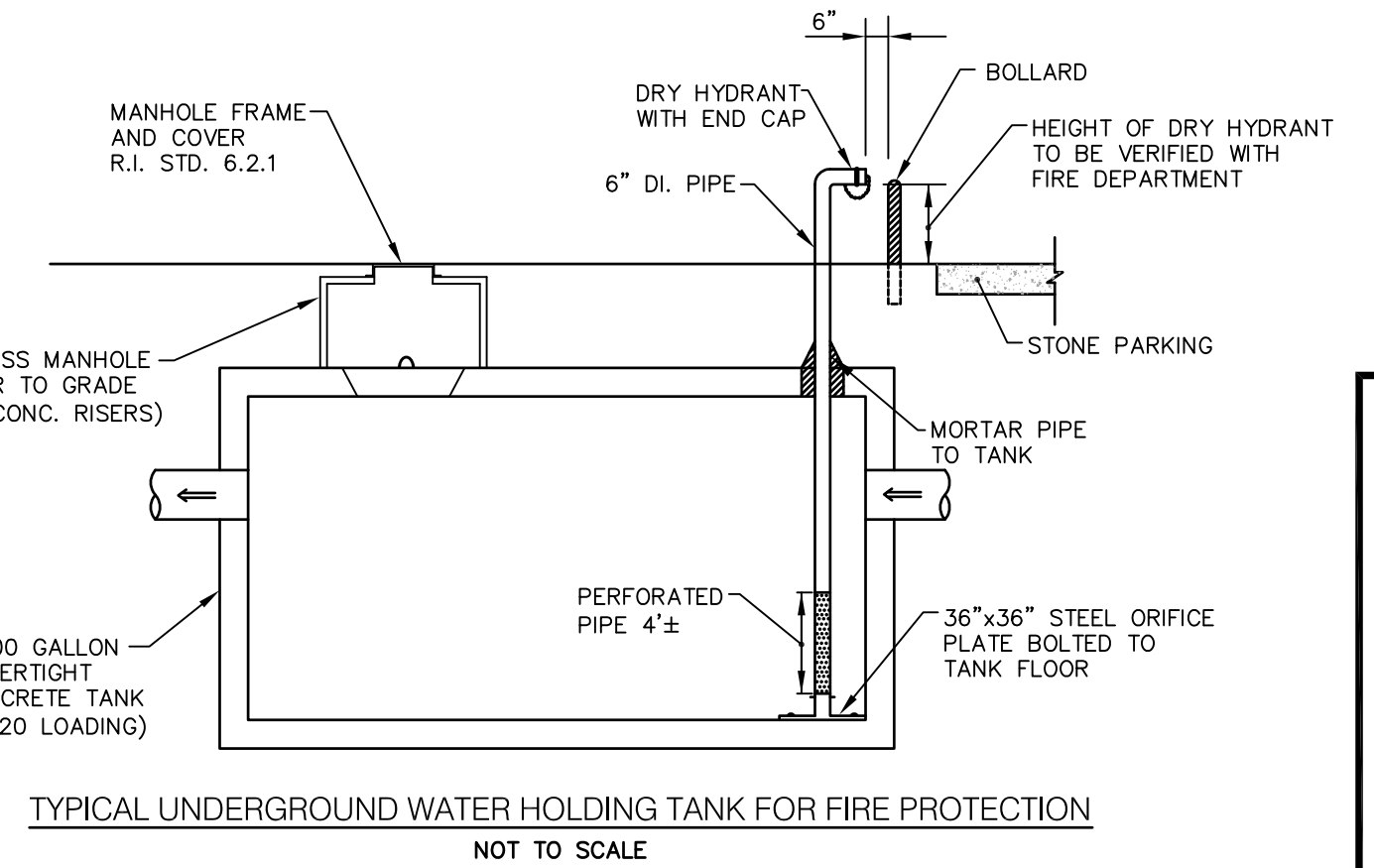
NUMBER	STRUCTURE	FRAME & GRATE	RIM	INVERT (IN)	INVERT (OUT)
CB 1	PRECAST CONCRETE (4' DIA)	R.I. STD. 6.4.0	89.50	--	86.65
CB 2	PRECAST CONCRETE (4' DIA)	R.I. STD. 6.3.0	90.25	79.00	79.00
CB 3	PRECAST CONCRETE (4' DIA)	R.I. STD. 6.3.0	90.25	80.00	80.00
CB 4	PRECAST CONCRETE (4' DIA)	R.I. STD. 6.4.0	95.25	84.50	84.50
CB 5	PRECAST CONCRETE (4' DIA)	R.I. STD. 6.4.0	89.25	85.25	85.25
CB 6	PRECAST CONCRETE (4' DIA)	R.I. STD. 6.4.0	87.50	81.10	81.10
CB 7	PRECAST CONCRETE (4' DIA)	R.I. STD. 6.4.0	85.50	--	82.00

- DRAINAGE NOTES:**
- CONTRACTOR TO VERIFY THAT ALL STRUCTURES ARE COMPATIBLE WITH FRAME AND GRATE.
  - SHOP DRAWINGS AND SPECIFICATIONS FOR ALL DRAINAGE RELATED ITEMS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER, PRIOR TO ORDERING.
  - ALL STRUCTURES SHALL BE DESIGNED FOR H-20 LOADING.
  - ALL CATCH BASINS SHALL BE PRECAST CONCRETE WATER TIGHT STRUCTURES. (NO WEEP HOLES)
  - ALL DRAINAGE PIPE SHALL BE ADS N-12 HDPE OR RCP CLASS IV. PIPE BEDDING SHALL BE IN CRUSHED STONE OR GRAVEL BORROW COMPACTED TO 95% DRY DENSITY (MODIFIED PROCTOR METHOD). ADS PIPE SHALL BE INSTALLED ACCORDING TO MANUFACTURERS' REQUIREMENTS.
  - CB'S 2 & 3 SHALL HAVE A 4' DEEP SUMP WITH A TEE INSTALLED ON THE OUTLET PIPE.

**PHASING NOTE:**  
 THE VEGETATED INFILTRATION BASIN, CATCHBASINS 1 THRU 7 AND ALL DRAINAGE PIPES SHALL BE INSTALLED UNDER PHASE I CONSTRUCTION.



- TANK NOTES:**
- THE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
  - VENT PIPE SHALL BE PROVIDED AS REQUIRED.
  - ALTERNATE BRACING OF DRY HYDRANT RISER PIPE IN TANK MAY BE USED IF APPROVED.
  - CONTRACTOR IS RESPONSIBLE TO REQUEST BUOYANCY CALCULATIONS FROM MANUFACTURER FOR HOLDING TANK USING AN ESTIMATED HIGH WATER TABLE 12' BELOW EXISTING GRADE. TANK SHALL INCLUDE EXTENDED BASE AS REQUIRED.

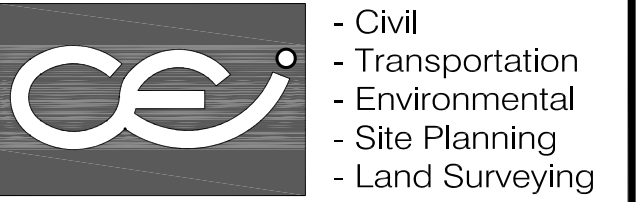


Town of Foster, Rhode Island Department of Planning  
 Submission Record for - Major Land Development

Submission	Board Action	Date:	Signed:
Master Plan Review	<input type="checkbox"/> Approved <input type="checkbox"/> Returned for Cause <input type="checkbox"/> Denied	_____	_____
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- Civil  
- Transportation  
- Environmental  
- Site Planning  
- Land Surveying

**CROSSMAN  
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**THE GIFFORD  
DESIGN GROUP, Inc.**  
LANDSCAPE ARCHITECTURE  
ENVIRONMENTAL PLANNING

499 MENDON ROAD, CUMBERLAND, RHODE ISLAND 02844  
PHONE (401) 671-6335 FAX (401) 671-6466

**PROJECT TITLE:**

PROPOSED YOUTH  
ATHLETIC FIELDS

PLAT MAP 11, LOT 57  
ZONING DISTRICT: AR  
AGRICULTURAL/RESIDENTIAL DISTRICT

FOSTER CENTER ROAD (ROUTE 94)  
FOSTER, RHODE ISLAND

**PREPARED FOR:**

TOWN OF FOSTER

181 HOWARD HILL ROAD  
FOSTER, RHODE ISLAND  
02825

**DRAWING TITLE:**

MISCELLANEOUS  
DETAIL PLAN No. 1

DATE: JANUARY 2010 SCALE: 1"=40'

DWG. NAME: 1574-C8-DETAIL1-R1.dwg

**REVISIONS**

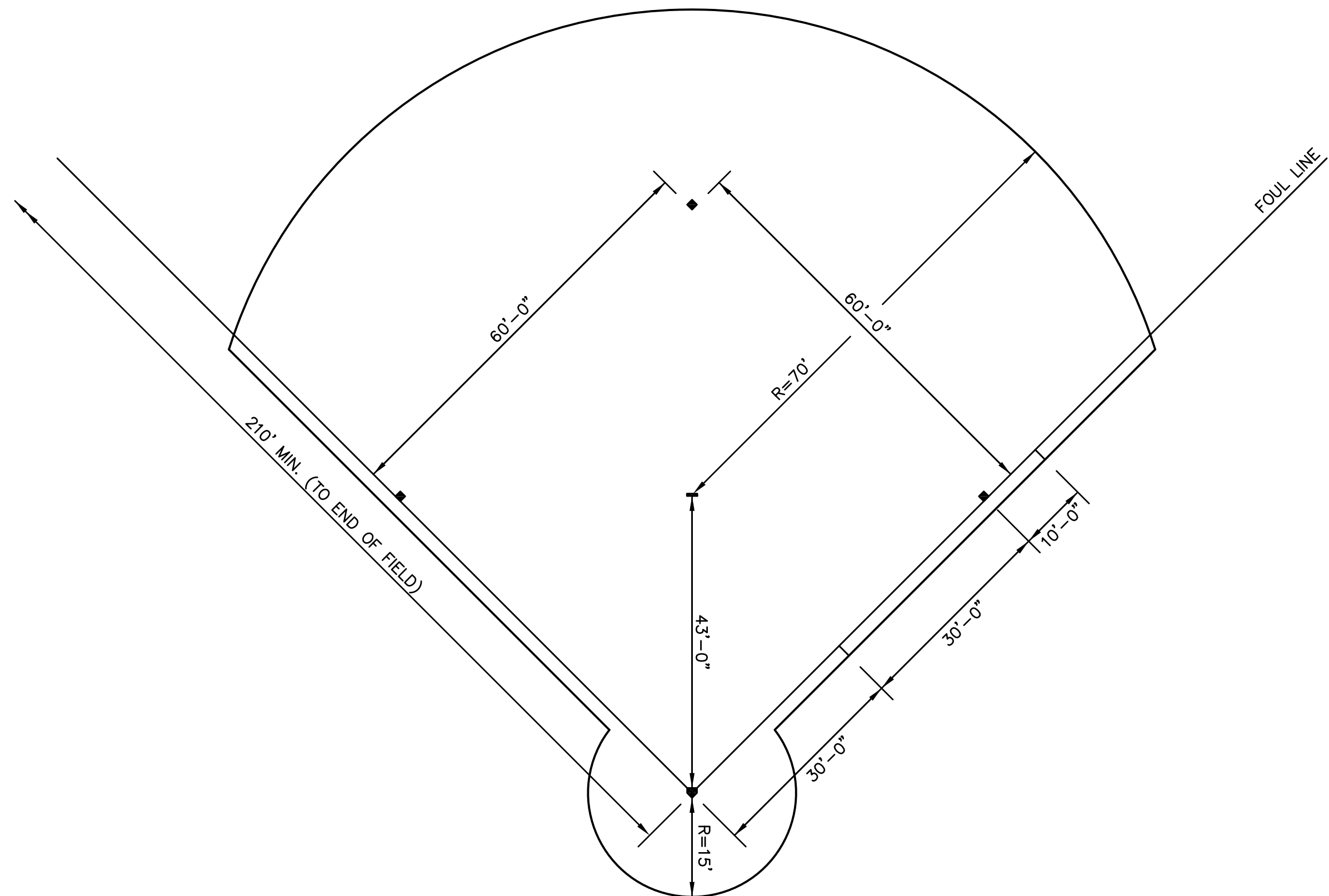
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1	R.I.D.T. REVIEW COMMENTS	10/19/15

**DRAWING NUMBER**

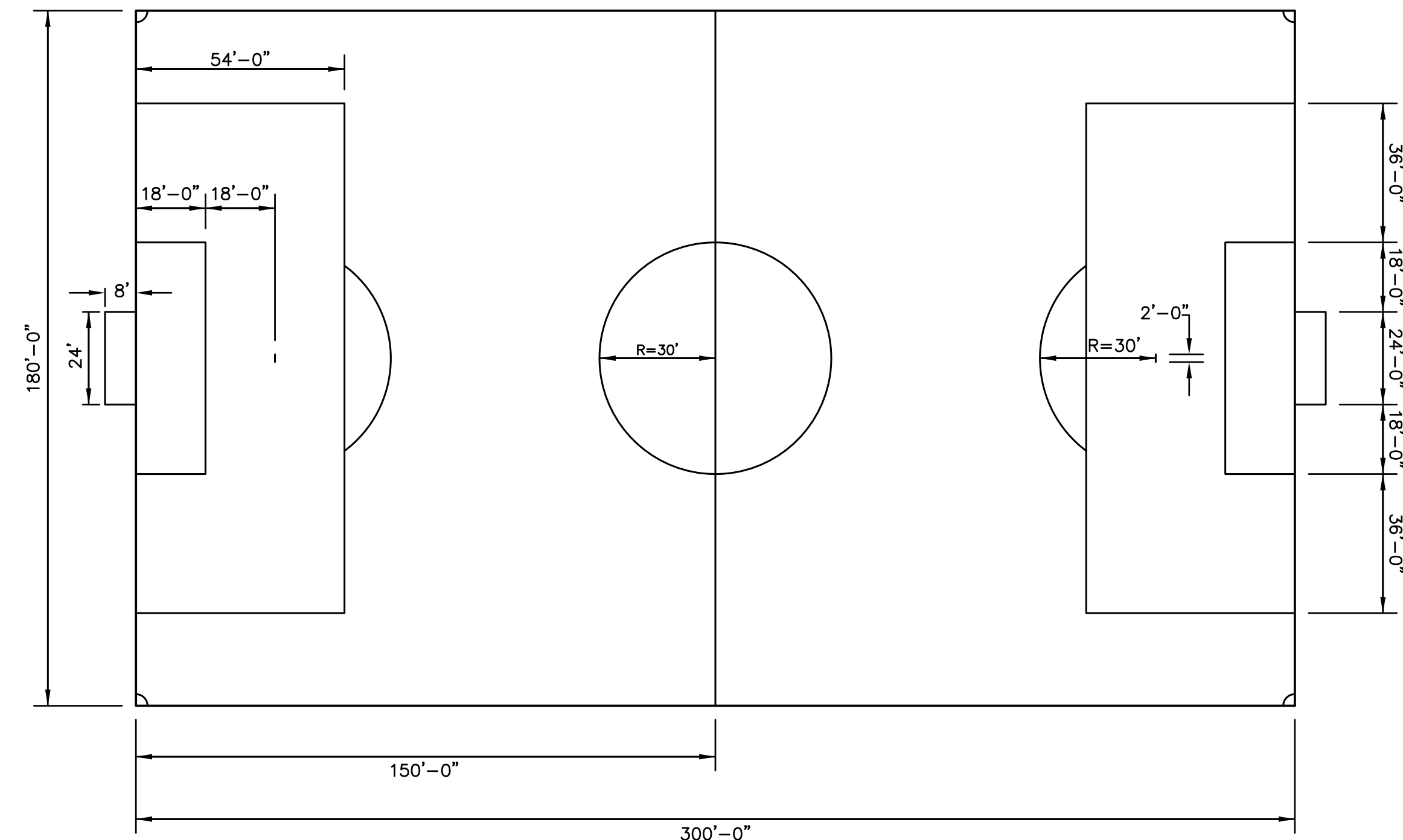
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SHEET: 9 OF: 12

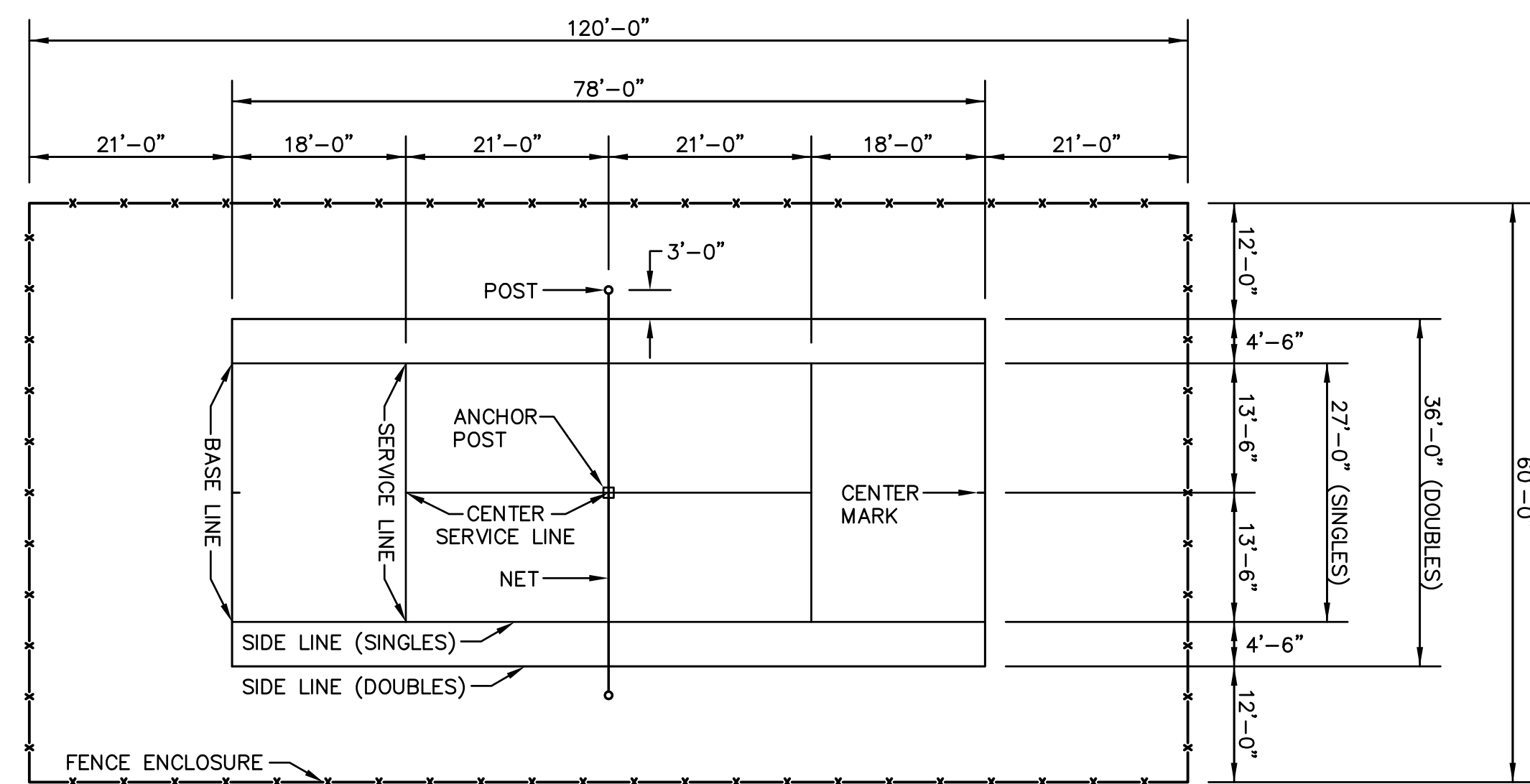
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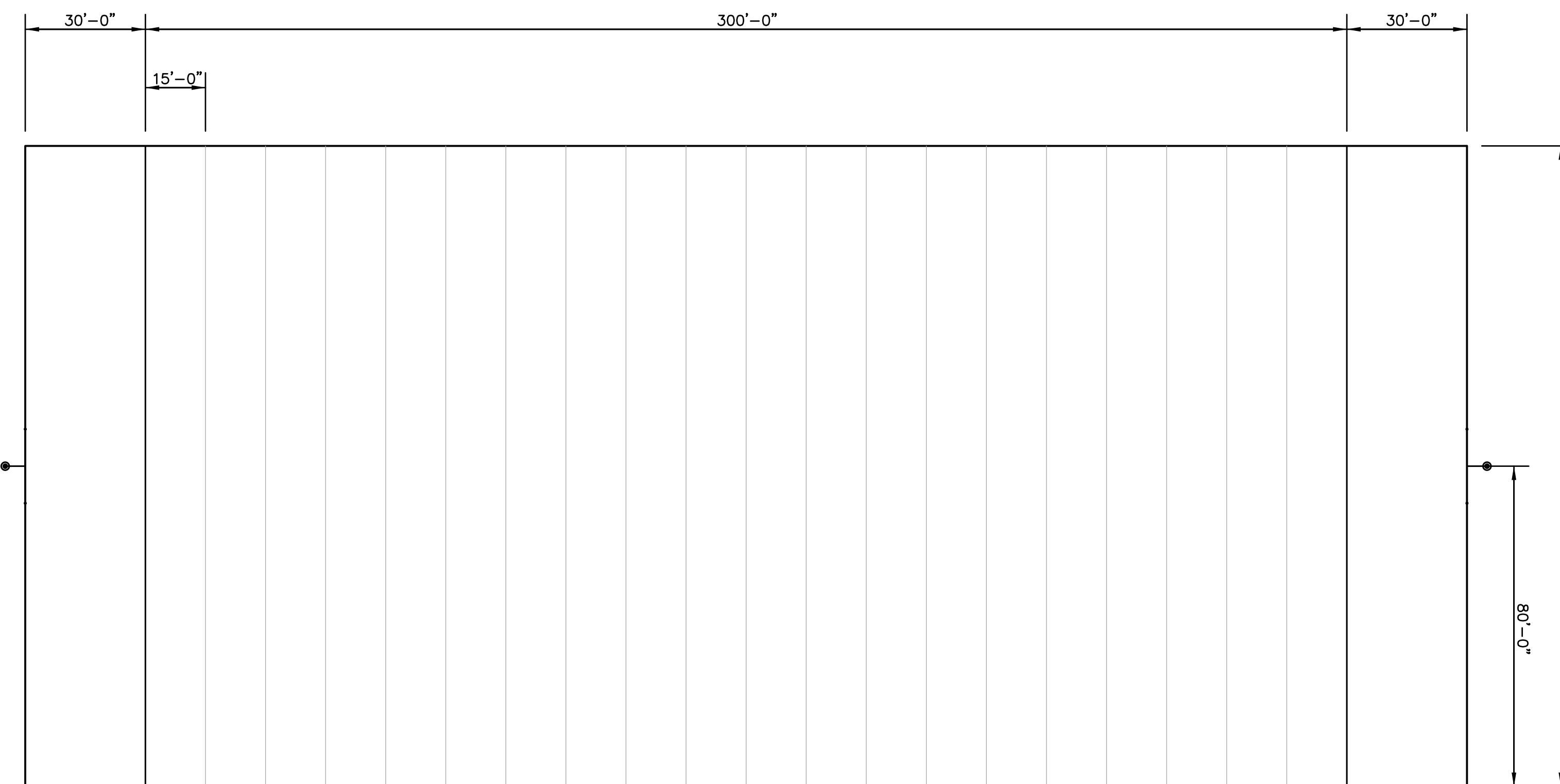
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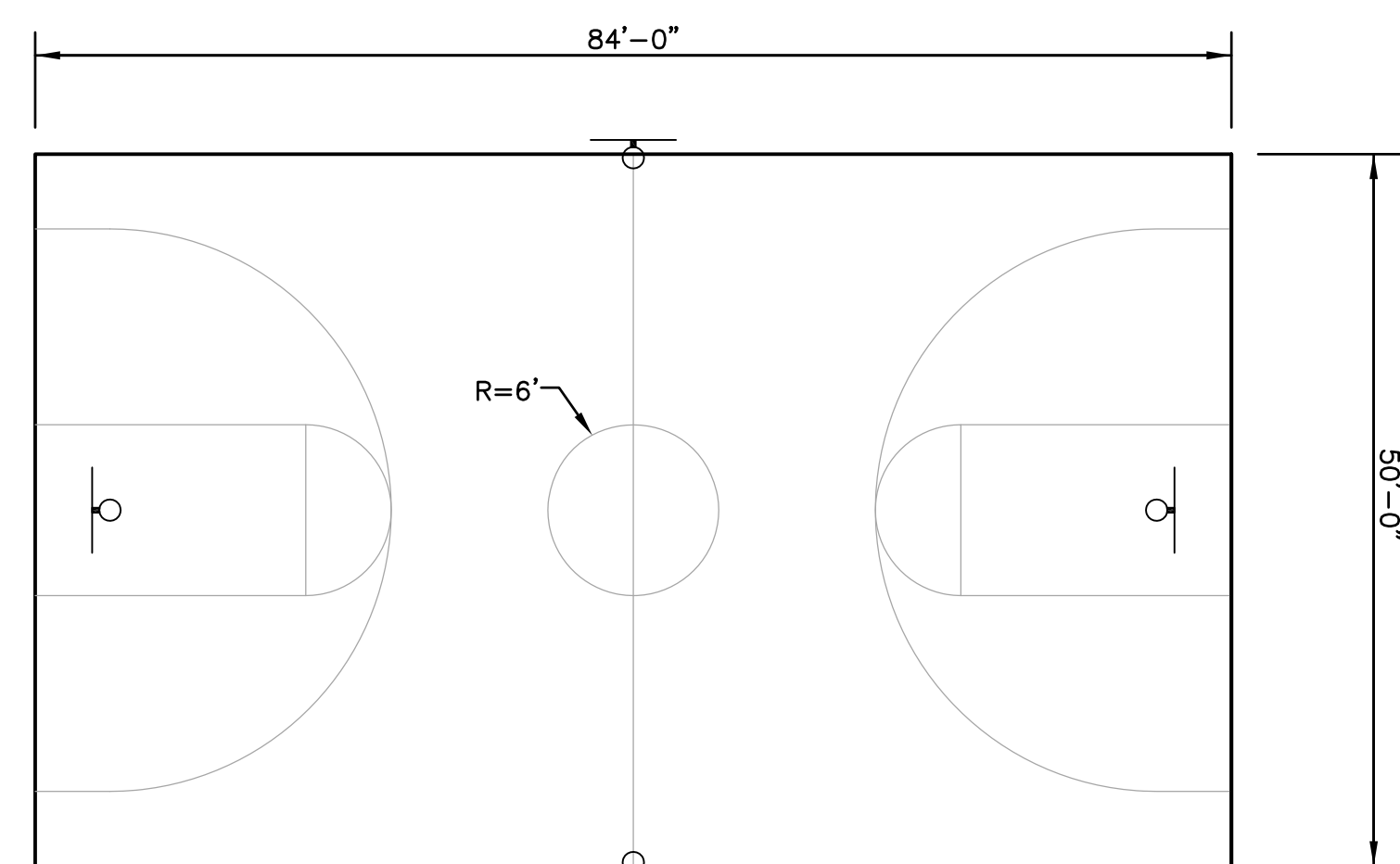
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**TENNIS COURT DIMENSION DETAIL**  
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**FOOTBALL FIELD DIMENSION DETAIL**  
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**BASKETBALL COURT DIMENSION DETAIL**  
NOT TO SCALE

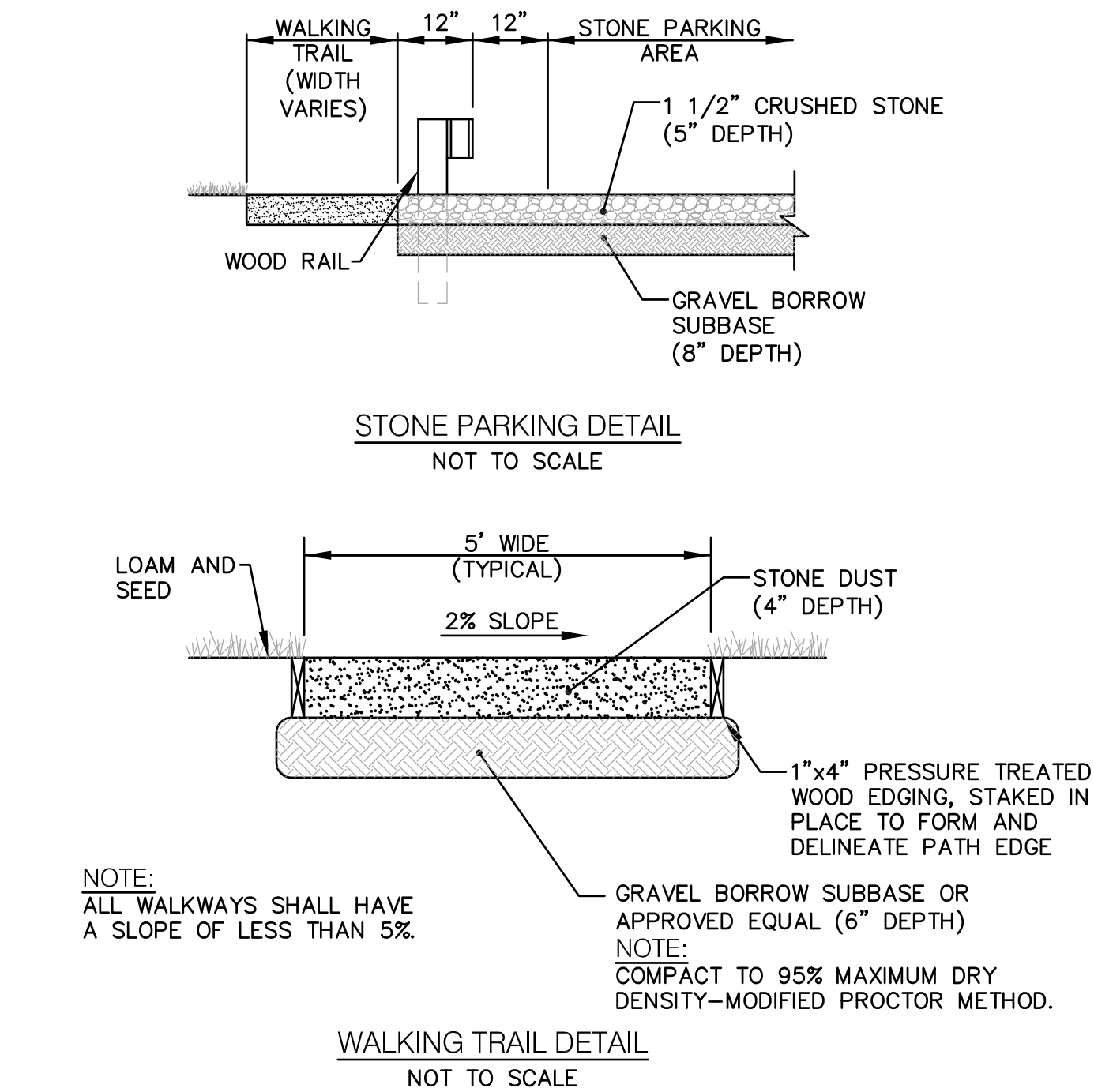
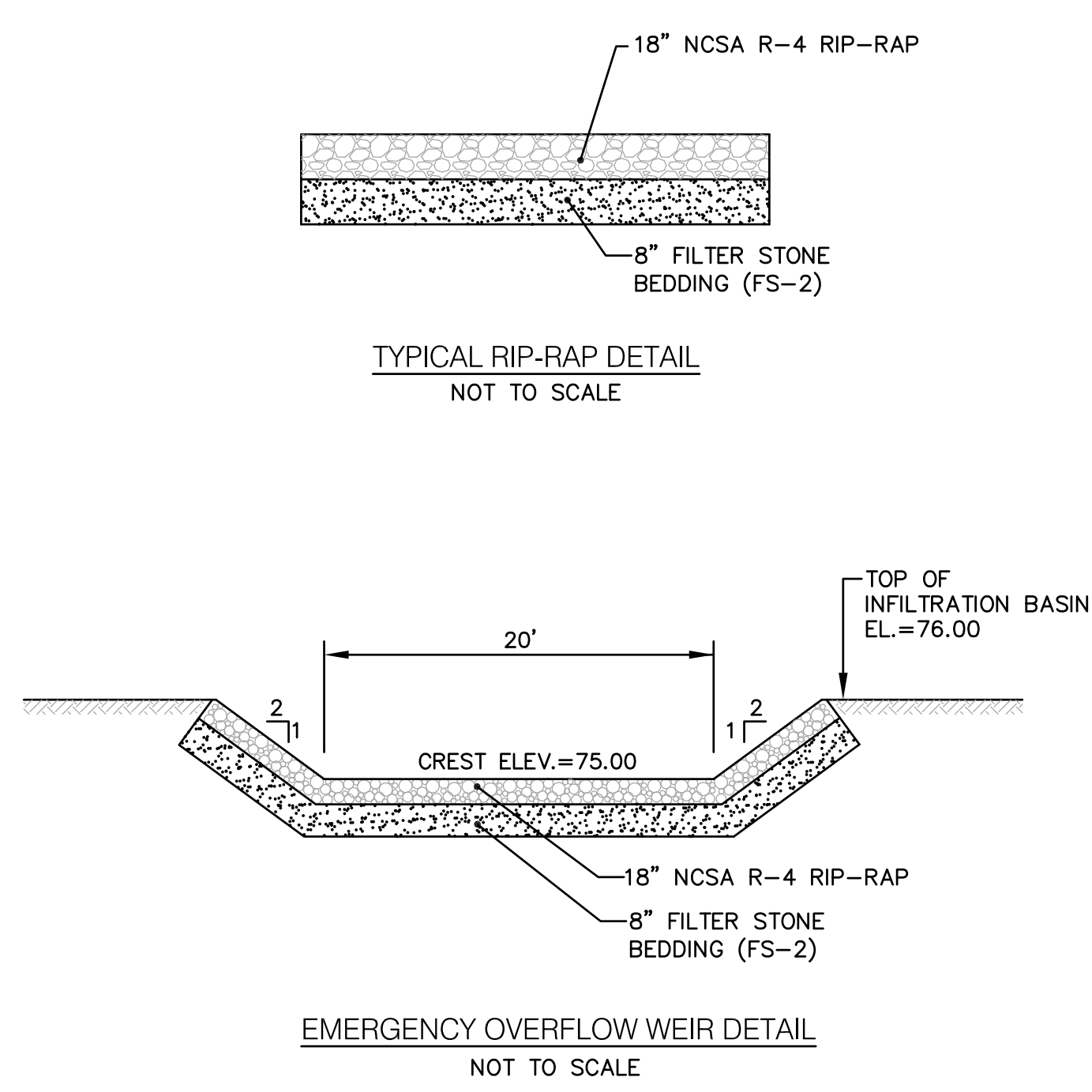
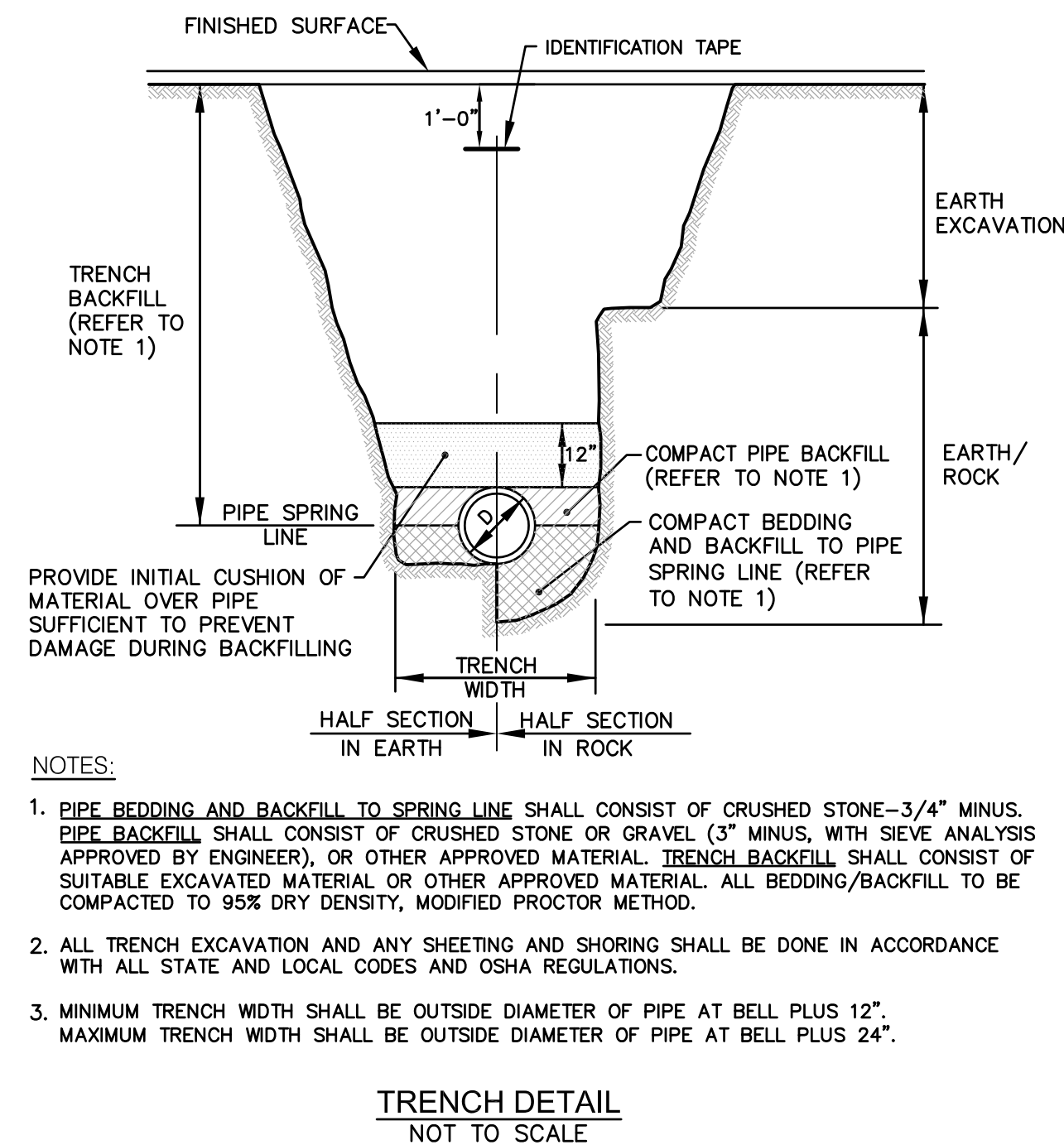
Town of Foster, Rhode Island Department of Planning  
Submission Record for - Major Land Development

Submission Board Action Date: Signed:

Master Plan Review	<input type="checkbox"/> Approved	<input type="checkbox"/> Returned for Cause	<input type="checkbox"/> Denied	_____	_____
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\_\_\_\_\_ Town Clerk





**DRAINAGE SYSTEM MAINTENANCE SCHEDULE:**

THE BELOW RECOMMENDATIONS FOR MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM ARE IN ACCORDANCE WITH THE RHODE ISLAND STORMWATER MANAGEMENT STANDARDS.

- FOLLOWING CONSTRUCTION, THE CONTRACTOR SHALL INSPECT THE STORMWATER MANAGEMENT SYSTEM AND CLEAN ALL CONSTRUCTION SEDIMENT.
- AN INSPECTION SHALL OCCUR AS NOTED BELOW AND AT A MINIMUM OF ANNUALLY BY QUALIFIED PERSONNEL TO ENSURE PROPER OPERATION. THE INSPECTION SHOULD CONCENTRATE ON THE FOLLOWING:
  - EMBANKMENT SUBSIDENCE
  - EROSION
  - CRACKING
  - TREE GROWTH
  - OUTLET CONDITION
  - SEDIMENT ACCUMULATION
  - SLOPE STABILITY
- VEGETATED INFILTRATION BASIN:
 

INSPECTIONS SHALL OCCUR EVERY 6 MONTHS AND WITHIN 3-5 DAYS AFTER EVERY MAJOR STORM. AT A MINIMUM, THE INFILTRATION BASIN SHALL BE CLEANED OF ACCUMULATED SEDIMENT ONCE EVERY TEN YEARS. IF REQUIRED, THE BASIN SHALL BE DEWATERED PRIOR TO DISCHARGE. THE RESULTING SYSTEM CONDITION AFTER SEDIMENT REMOVAL MUST BE THE ORIGINAL DESIGN CONDITION. ALL REMOVED SEDIMENT IS TO BE TESTED TO DETERMINE POLLUTANT CONTENT. THE SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE, AND FEDERAL REGULATIONS.

NOTE: UPON INSPECTION OF BASIN: IF STANDING WATER IS OBSERVED IN PIPE FOR MORE THAN 3 DAYS AFTER A STORM EVENT, THE BASIN MAY NEED IMMEDIATE REPAIR. THE OWNER SHALL CONTACT AN ENGINEER FOR FURTHER REVIEW OF CONDITION.
- DEEP SUMP CATCH BASINS:
 

AN INSPECTION SHALL OCCUR ON AN ANNUAL BASIS OR WHENEVER THE DEPTH OF SEDIMENT IS GREATER THAN OR EQUAL TO ONE HALF THE DEPTH FROM THE BOTTOM OF THE INVERT OF THE LOWEST PIPE IN THE BASIN.
- CATCH BASINS, MANHOLES, AND DRAIN LINES:
 

AN INSPECTION SHALL OCCUR ON AN ANNUAL BASIS BY QUALIFIED PERSONNEL TO ENSURE PROPER OPERATION. THE INSPECTION SHOULD, AT A MINIMUM, CONCENTRATE ON THE FOLLOWING:

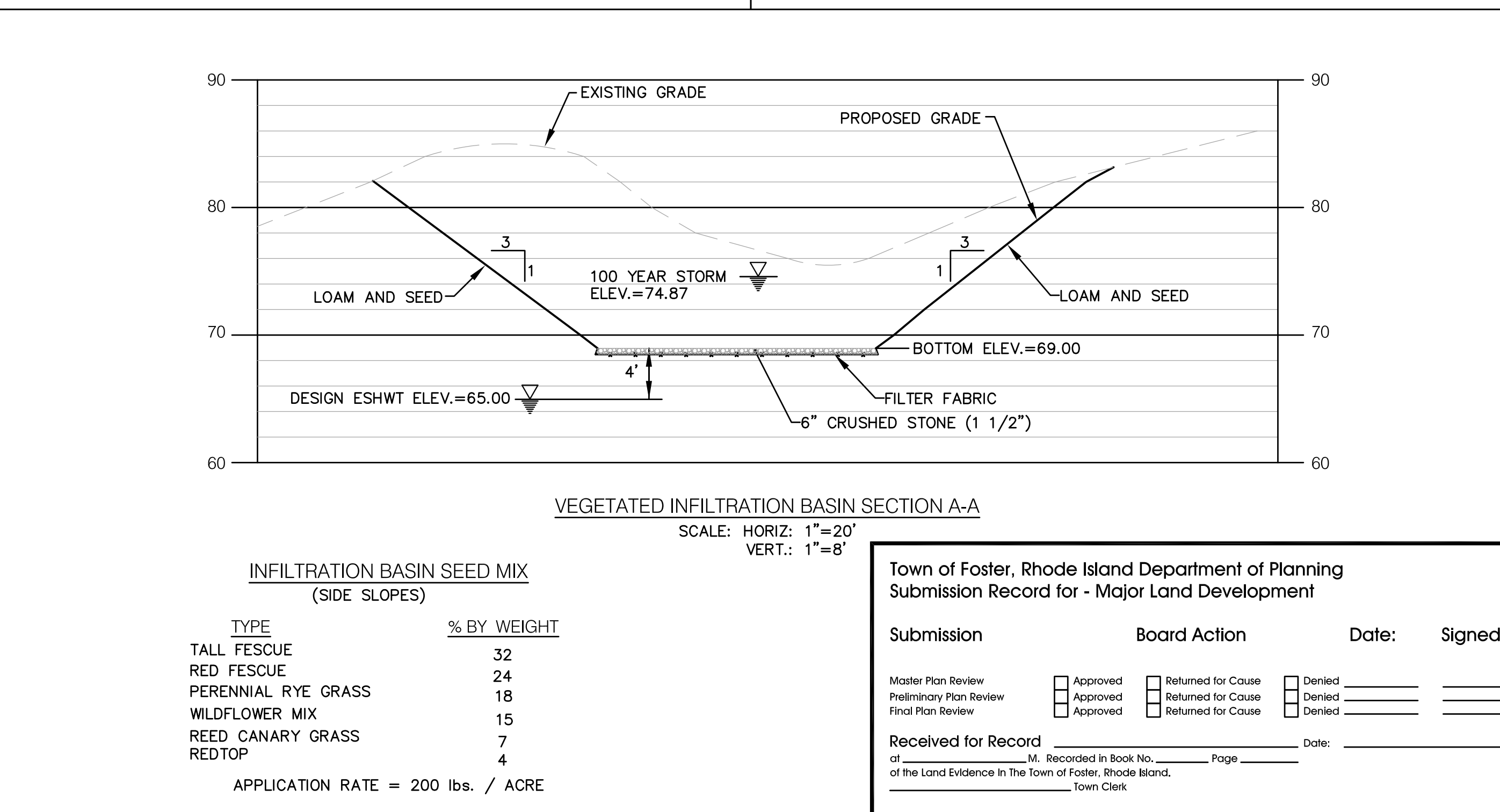
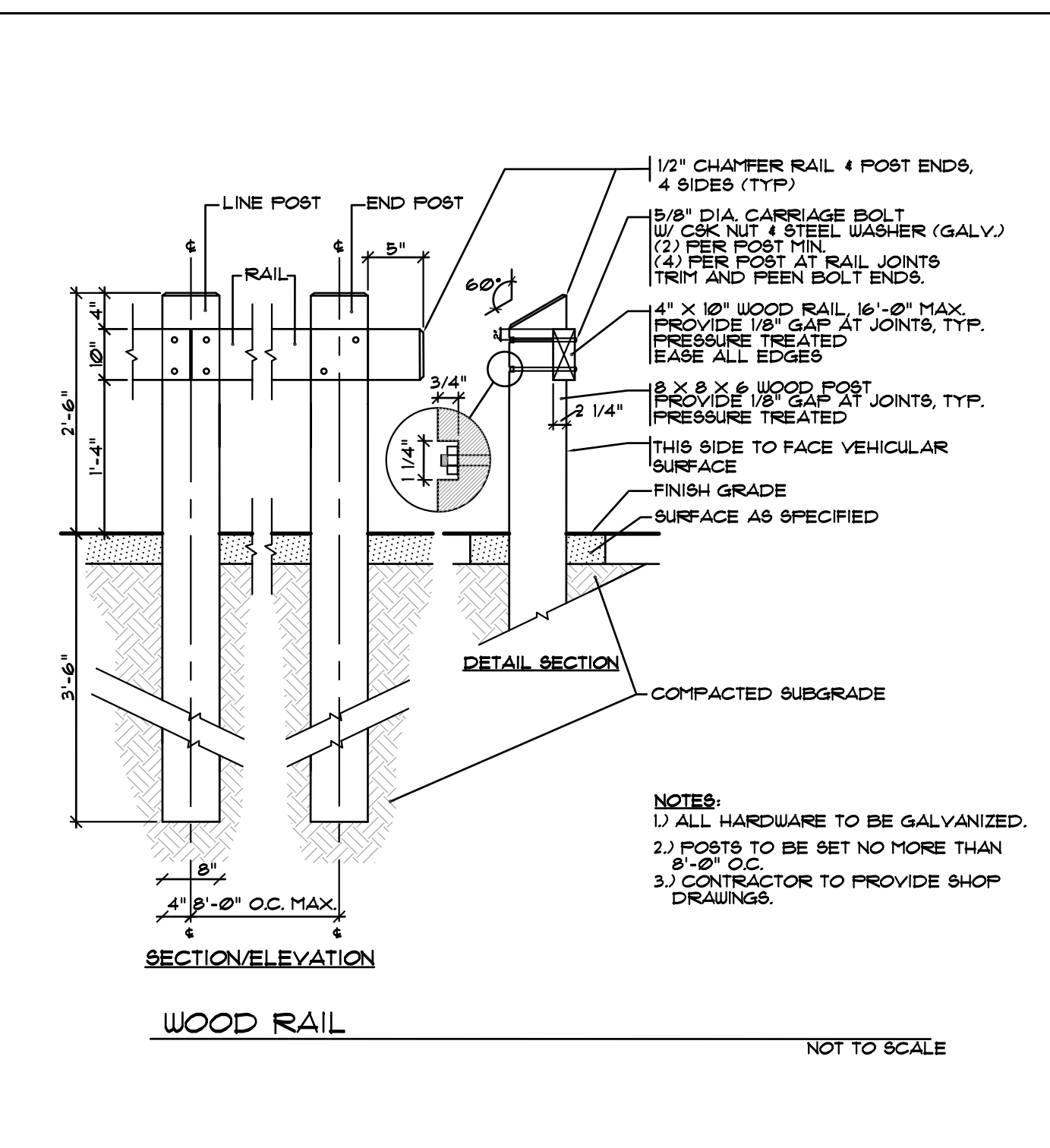
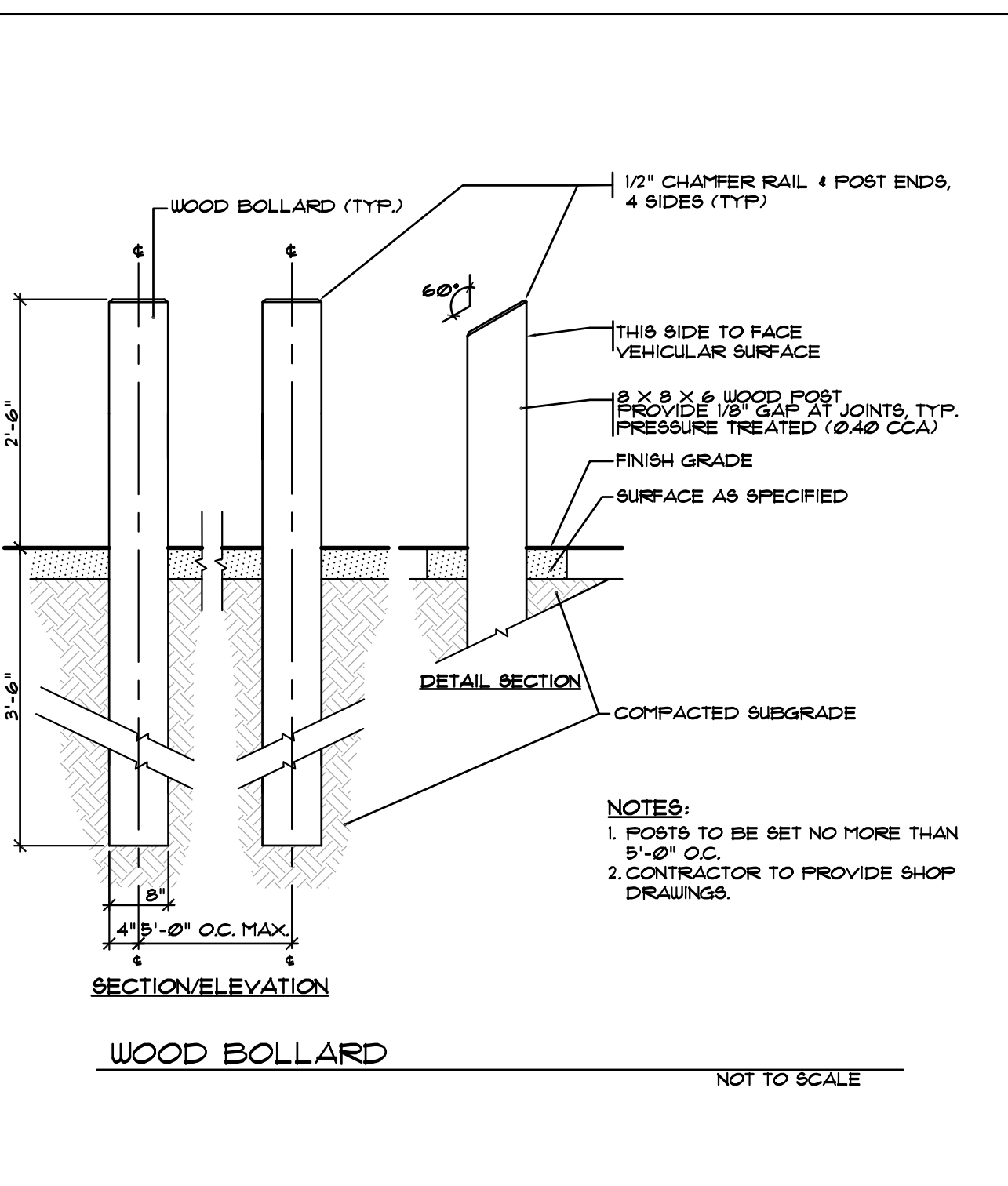
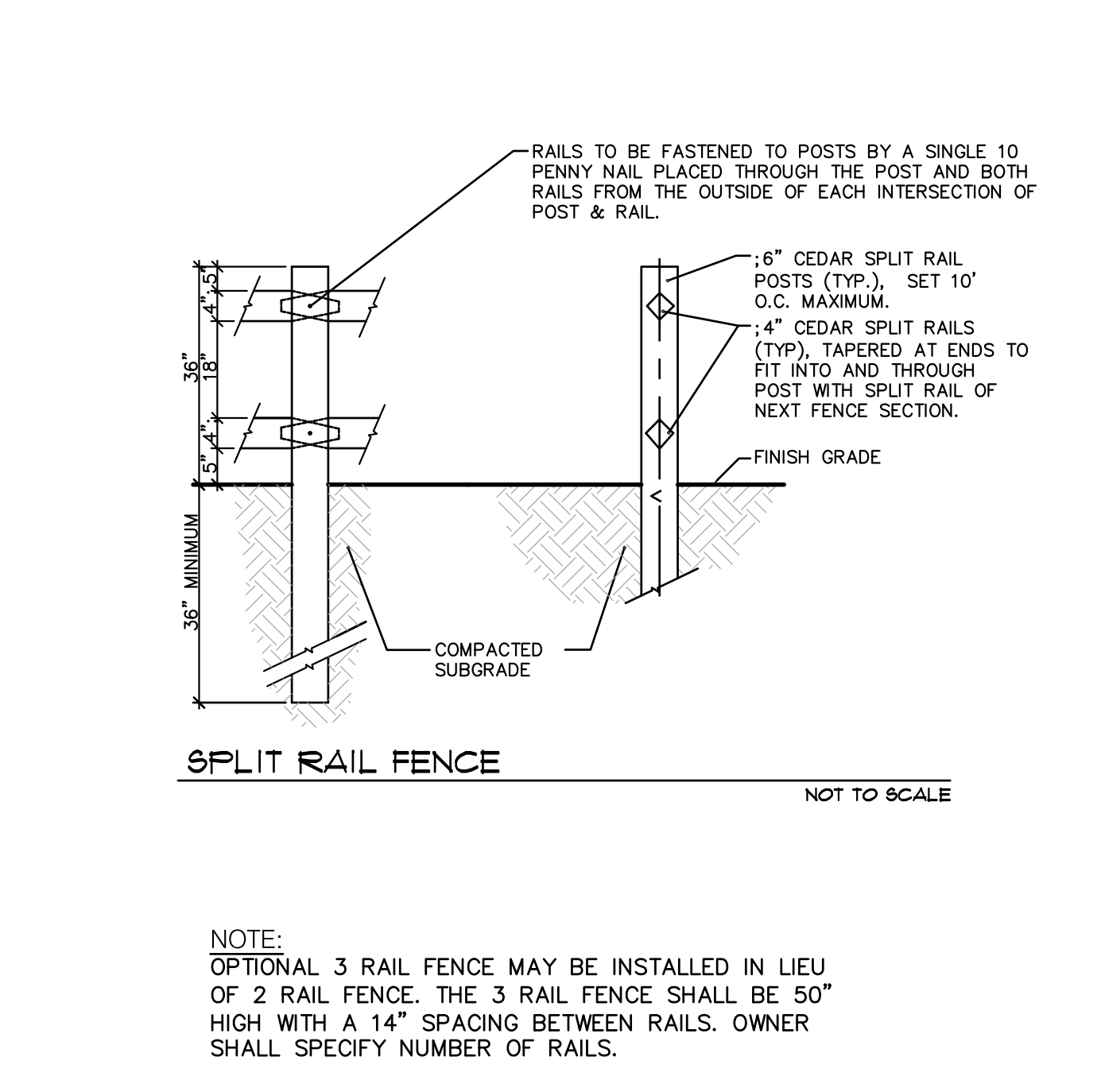
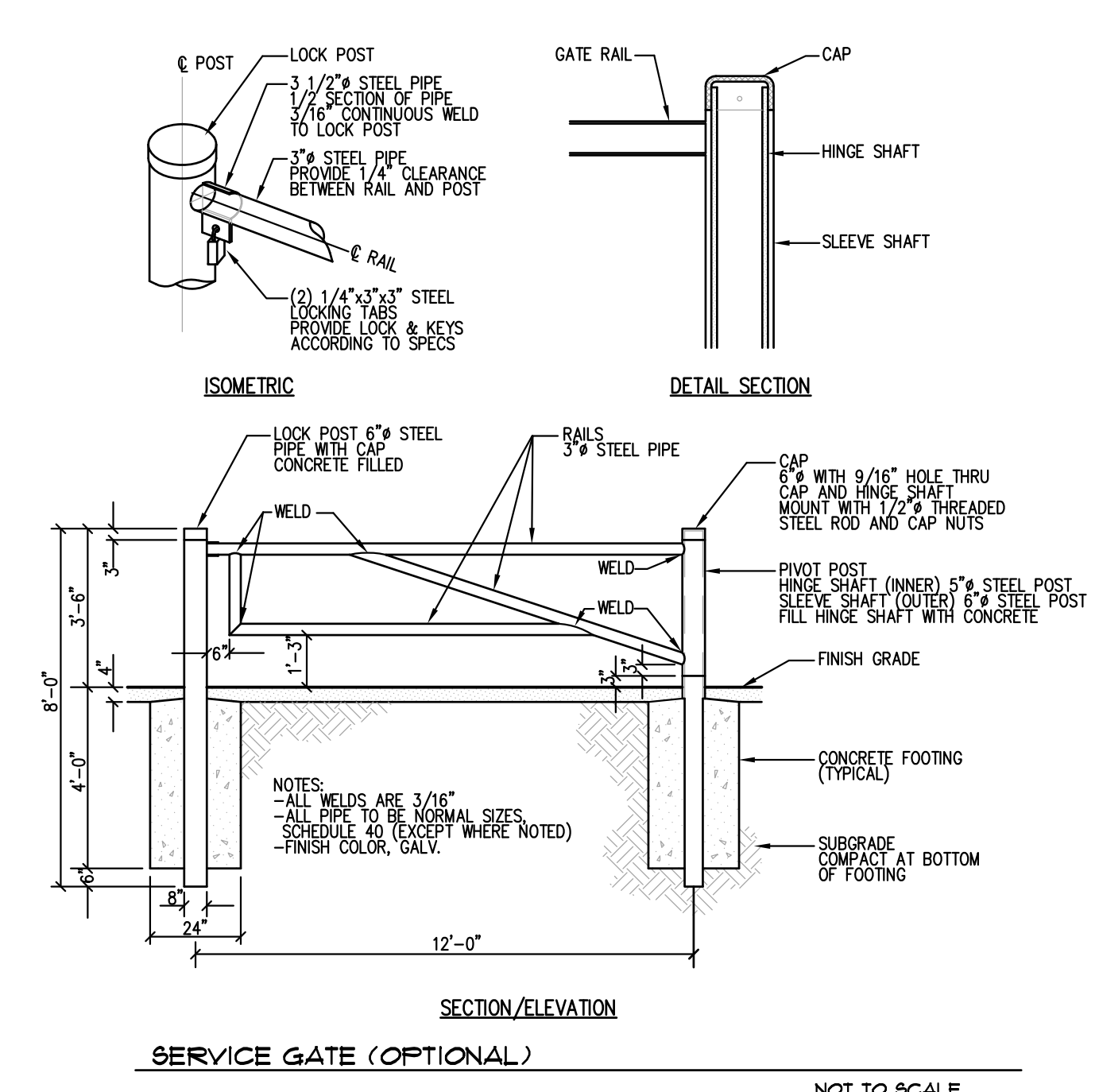
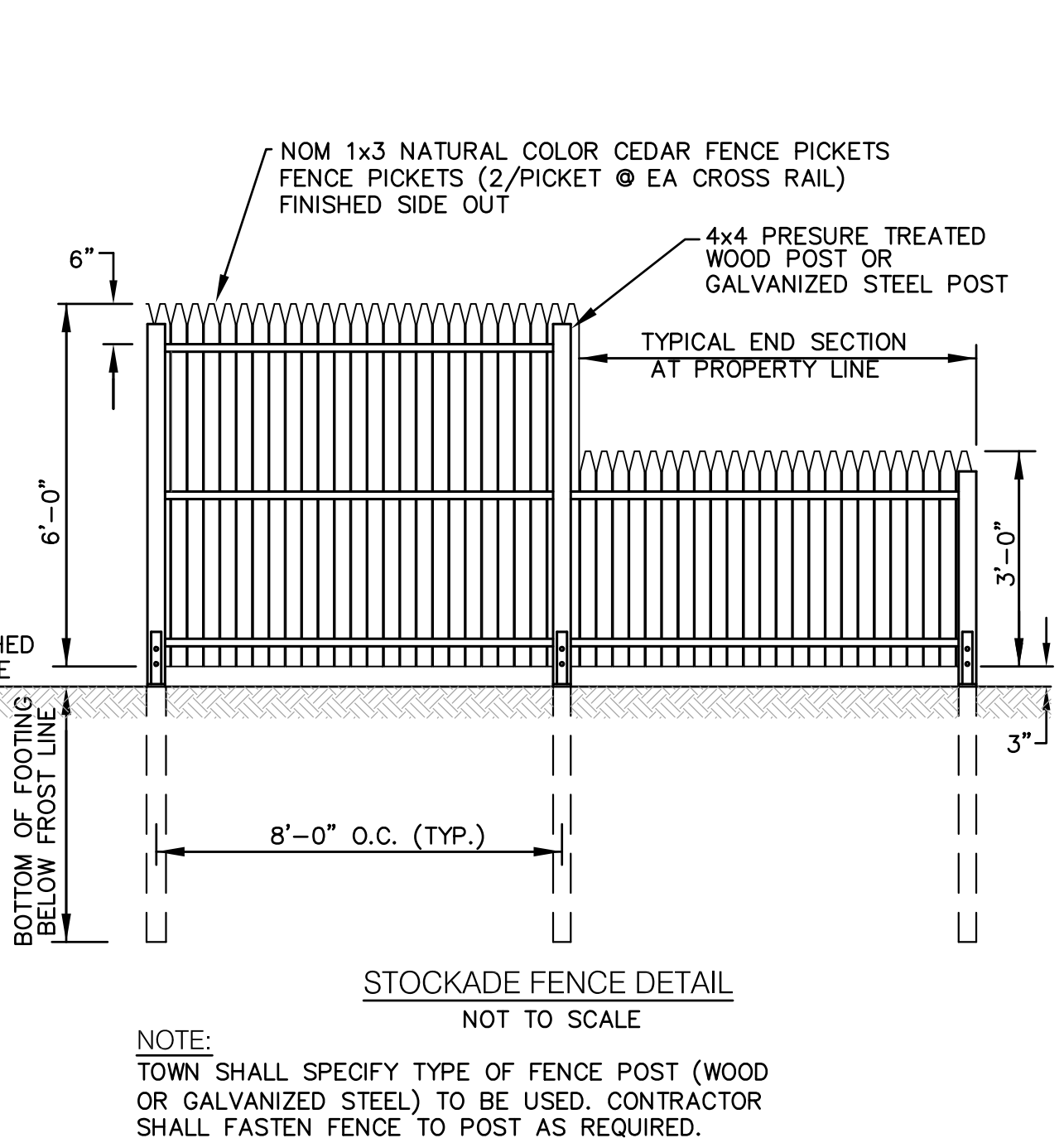
  - DAMAGE TO GRATES/COVERS
  - EVIDENCE OF STANDING WATER
  - DEBRIS REMOVAL
  - STRUCTURAL ALIGNMENT/INTEGRITY

ANY DEFICIENCY NOTED DURING THE INSPECTION WILL BE IMMEDIATELY REPAIRED OR REPLACED.
- SEDIMENT REMOVAL:
 

FOLLOWING CONSTRUCTION, THE CATCH BASINS ARE TO BE CLEANED OF ACCUMULATED SEDIMENT AS REQUIRED. ALL REMOVED SEDIMENT IS TO BE TESTED TO DETERMINE POLLUTANT CONTENT. THE SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE, AND FEDERAL REGULATIONS.

**VEGETATED INFILTRATION BASIN NOTES:**

- AFTER TREE CUTTING AND GRUBBING, THE INFILTRATION BASIN SHALL BE THE FIRST AREA TO BE GRADED, SHAPED AND STABILIZED. THE BOTTOM AND SIDE SLOPES OF THE BASIN SHALL BE STABILIZED WITH A DENSE TURF OF WATER TOLERANT GRASS.
- STORMWATER SHALL NOT ENTER THE INFILTRATION BASIN UNTIL THE INFILTRATION BASIN BOTTOM AND SIDE SLOPES HAVE BEEN STABILIZED.
- DURING EXCAVATION, MEASURES SHALL BE TAKEN TO ENSURE THAT SEDIMENT DOES NOT ENTER THE INFILTRATION BASIN.
- PROPOSED INFILTRATION BASIN SHALL NOT BE USED AS A TEMPORARY SEDIMENT TRAP FOR CONSTRUCTION ACTIVITIES.
- SIDE SLOPES OF BASIN SHALL BE NO STEEPER THAN 3:1.
- TREES AND SHRUBS SHALL NOT BE PLANTED WITHIN THE BASIN OR ON THE IMPOUNDING EMBANKMENTS.
- AFTER CONSTRUCTION, THE CONTRACTOR SHALL CLEAN ANY SEDIMENT WITHIN THE DRAINAGE STRUCTURES, PIPE AND INFILTRATION BASIN. RESEED VEGETATED AREAS AS REQUIRED.



Town of Foster, Rhode Island Department of Planning  
Submission Record for - Major Land Development

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**CROSSMAN ENGINEERING, INC.**  
151 Centerville Road  
Warwick, Rhode Island 02886  
Phone: (401) 738-5660 - Fax: (401) 738-8157  
Email: cei@crossmaneng.com

- Civil
- Transportation
- Environmental
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- Land Surveying

**THE GIFFORD DESIGN GROUP, Inc.**  
LANDSCAPE ARCHITECTURE  
ENVIRONMENTAL PLANNING  
4095 MENDON ROAD, CUMBERLAND, RHODE ISLAND 02854  
PHONE (401) 671-6336 FAX (401) 671-6465

**PROJECT TITLE:**  
PROPOSED YOUTH ATHLETIC FIELDS  
PLAT MAP 11, LOT 57  
ZONING DISTRICT: AR  
AGRICULTURAL/RESIDENTIAL DISTRICT  
FOSTER CENTER ROAD (ROUTE 94)  
FOSTER, RHODE ISLAND

**PREPARED FOR:**  
TOWN OF FOSTER  
181 HOWARD HILL ROAD  
FOSTER, RHODE ISLAND  
02825

**DRAWING TITLE:**  
MISCELLANEOUS  
DETAIL PLAN No. 2

**DATE:** JANUARY 2010 **SCALE:** NO SCALE

**DWG. NAME:** 1574-C9-DETAIL2-R2.dwg

**REVISIONS**

NUMBER	REMARKS	DATE
1	R.I.D.T. REVIEW COMMENTS	10/19/15

**DRAWING NUMBER**  
**C9**  
SHEET: 10 OF 12  
**FINAL PLAN SUBMISSION**





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 151 Centerville Road  
 Warwick, Rhode Island 02886  
 Phone: (401) 738-5660 - Fax: (401) 738-8157  
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 Web Page: www.crossmaneng.com

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 LANDSCAPE ARCHITECTURE  
 ENVIRONMENTAL PLANNING  
 499 MENDON ROAD, CUMBERLAND, RHODE ISLAND 02864  
 PHONE (401) 671-6385 FAX (401) 671-6466

**PROJECT TITLE:**  
 PROPOSED YOUTH ATHLETIC FIELDS  
 PLAT MAP 11, LOT 57  
 ZONING DISTRICT: AR  
 AGRICULTURAL/RESIDENTIAL DISTRICT  
 FOSTER CENTER ROAD (ROUTE 94)  
 FOSTER, RHODE ISLAND

**PREPARED FOR:**  
 TOWN OF FOSTER  
 181 HOWARD HILL ROAD  
 FOSTER, RHODE ISLAND  
 02825

**DRAWING TITLE:**  
 LANDSCAPE PLAN

**DATE:** JANUARY 2010 **SCALE:** 1" = 40'

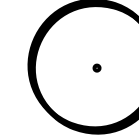
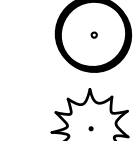
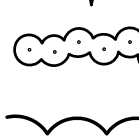

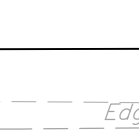
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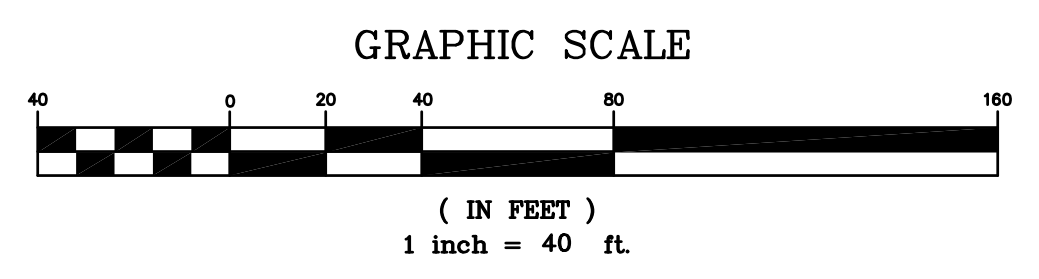
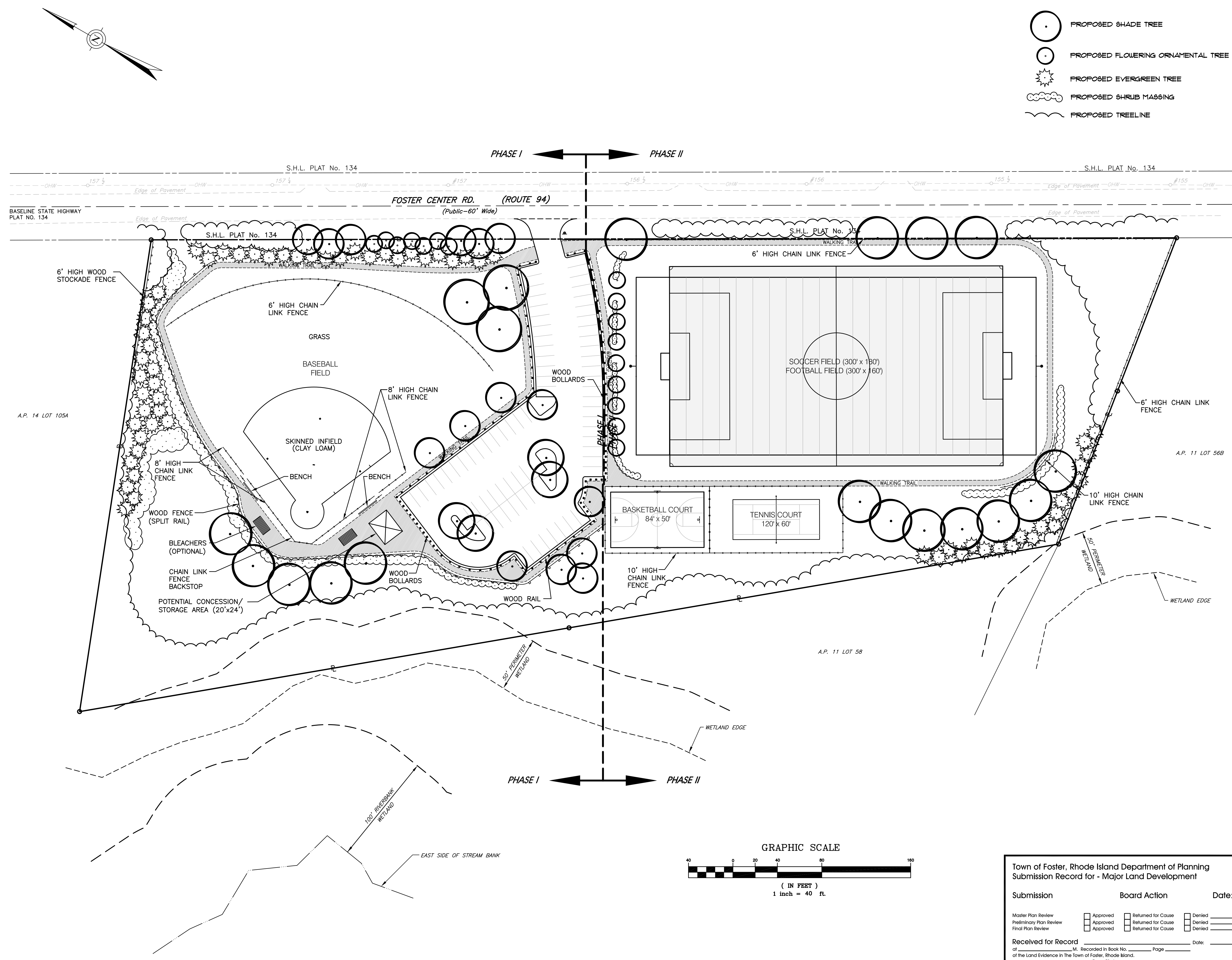
**REVISIONS**

NUMBER	REMARKS	DATE
1	R.I.D.O.T. REVIEW COMMENTS	10/19/15

**DRAWING NUMBER**  
 L1  
**SHEET:** 11 of 12  
**FINAL PLAN SUBMISSION**

**CONCEPTUAL PLANTING LEGEND:**

-  PROPOSED SHADE TREE
-  PROPOSED FLOWERING ORNAMENTAL TREE
-  PROPOSED EVERGREEN TREE
-  PROPOSED SHRUB MASSING
-  PROPOSED TREELINE



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